

**WHEELING PLAN COMMISSION
THURSDAY, APRIL 28, 2016 6:30 P.M.**

**AGENDA FOR A REGULAR MEETING OF THE PLAN COMMISSION
to be held in the Board Room of the Village Hall
2 Community Boulevard, Wheeling, Illinois**

This meeting will stream live and be televised on Wheeling's Cable Channels 17 & 99

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. CHANGES TO THE AGENDA**
- 5. CITIZEN CONCERNS AND COMMENTS**
- 6. CONSENT ITEMS**
 - A) [SCBA 16-06](#)
Lakeside Villas
974 Lakeside Circle
Appearance Approval of Subdivision Signs
- 7. ITEMS FOR REVIEW**
 - A) [Docket No. 2016-8 A&B](#)
Dynamax, Inc.
230 W. Palatine Road
(2016-8A) Rezoning a Portion of the Property from I-1 Light Industrial and Office District to I-2 Limited Industrial District
(2016-8B) Special Use-Site Plan Approval for Hazardous Materials Storage
 - B) [Docket No. 2016-9](#)
Medtec Healthcare
43 W. Dundee Road
Special Use-Site Plan Approval for Adult Day Service
- 8. APPROVAL OF MINUTES** – [April 14, 2016](#) (includes findings for Docket No. 2016-5 and Docket No. 2016-7)
- 9. OTHER BUSINESS**
- 10. ADJOURNMENT**

IF YOU WOULD LIKE TO ATTEND A VILLAGE MEETING BUT REQUIRE AUXILIARY AID SUCH AS A SIGN LANGUAGE INTERPRETER, PLEASE CALL (847) 459-2600 AT LEAST 72 HOURS PRIOR TO THE MEETING.

Public Hearing Information
Wheeling Plan Commission Meeting
April 28, 2016
(Attachment to Agenda)

- Docket No. 2016-8A&B** Dynamax, contract tenant, is seeking the following actions to establish a medium manufacturing facility at 230 W. Palatine Road, Wheeling, Illinois, hereinafter legally described below:
- 2016-8(A)** Rezoning the eastern half of the property from I-1 Light Industrial and Office District to I-2 Limited Office District; and
- 2016-3(B)** Special Use-Site Plan Approval as required under Chapter 19-07 Industrial Districts, Chapter 19-10 Use Regulations, and Chapter 19-12 Site Plan Approval Requirements, and associated sections, in order to establish hazardous materials storage in the I-2 Limited Industrial District and I-3 General Industrial District.
- Docket No. 2016-9** John Kim, property owner, is seeking Special Use-Site Plan Approval as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-06 Commercial Districts, Chapter 19-10 Use Regulations, Chapter 19-12 Site Plan Approval Requirements, and associated sections, in order to establish an Adult Day Service at 43 W. Dundee Road, which is zoned B-3 General Commercial and Office District.

REQUEST FOR PLAN COMMISSION ACTION
STAFF PROJECT REVIEW

TO: Chairperson Ruffatto and Members of the
Wheeling Plan Commission

FROM: Andrew C. Jennings, Director of Community Development
Brooke A. Jones, Senior Planner

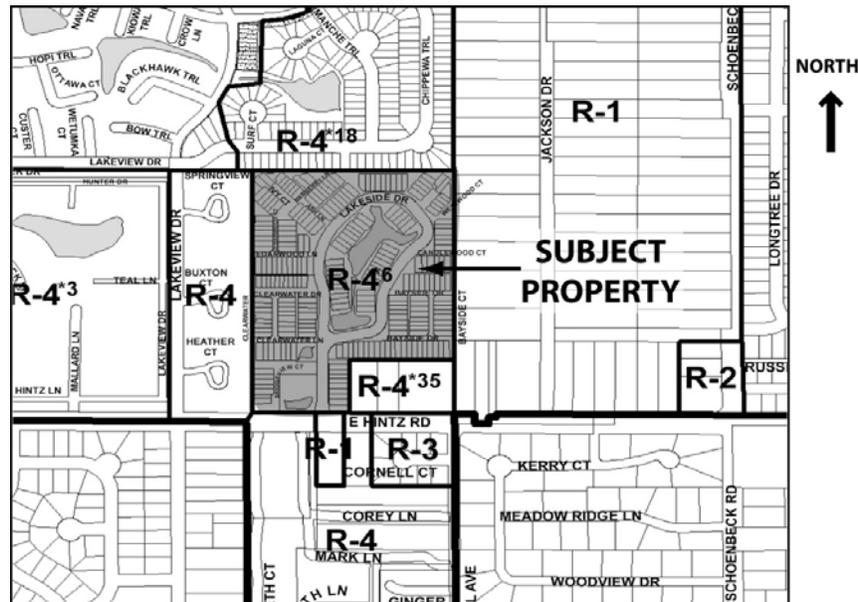
RE: **Docket No. SCBA 16-6**
Lakeside Villas
794 Lakeside Circle
Appearance Approval of Subdivision Signs

DATE OF REPORT: April 22, 2016

DATE OF MEETING: April 28, 2016

PROJECT OVERVIEW: The petitioner is seeking appearance approval to for two new subdivision entrance signs at the corner of Hintz Road and Lakeside Circle.

LOCATION MAP:



GENERAL PROPERTY INFORMATION

Development Name: Lakeside Villas

Applicant Name: Maria Cardenas, Managing Agent

Property Owner Name: Lakeside Villas Homeowners Association

Common Property Address: 794 Lakeside Circle

<u>Common Location:</u>	The property is located north of Hintz Road at Lakeside Circle
<u>Neighboring Property Land Use(s):</u>	North: Multi-Family Residential West: Multi-Family Residential South: Single-Family Residential/Multi-Family Residential East: Single-Family Residential
<u>Existing Use of Property:</u>	Multi-Family Residential
<u>Existing Property Zoning:</u>	R-4, Multiple Family Residential District
<u>Previous Zoning Action on Property:</u>	None

PROJECT DESCRIPTION

The Homeowner's Association is requesting appearance approval to replace the existing two subdivision signs. The petitioners would like to reuse the existing landscaped beds surrounding the signs.

SIGN REVIEW

Sign Location: The existing signs are located at the intersection of Hintz Road and Lakeside Circle. One sign is located on the east side of Lakeside and the other sign is located on the west side of Lakeside Circle. The new signs will be located in the same location as the existing.

Sign Type and Size: The proposed two-post freestanding signs will be identical to each other. The sign panels are constructed of 1.5 inch thick cedar boards that are sandblasted, routed and painted. The panels are located on solid, treated wood. The sign panels are 36" x 84", which is 21 sq. ft. for each sign face. The signs will be mounted on 5-foot posts. The sign panels will be green with white or cream lettering and detailing.

Landscaping: No changes are proposed to the existing landscaping. Two written descriptions of the existing landscaping has been provided from the landscaping companies that maintain the property.

For the east sign, the total landscaped area is 360 sq. ft. There is an existing silver maple tree, crabapple tree, five mature yews, six cotoneaster shrubs, 17 daylilies, and five sedum plants. For the west sign, the total landscaped area is 425 sq. ft. There is an existing silver maple, five mature yews, six cotoneaster shrubs, 14 daylilies, and three Lily of the Valley groundcover plants. The existing landscaping meets the size and species mix requirements of the Sign Code.

STAFF REVIEW

Impact on Adjacent Uses: No impact on adjacent uses is expected.

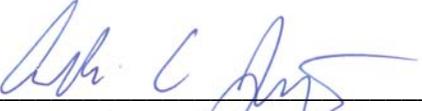
Staff Recommended Action: Staff recommends approval of the proposed new subdivision signs.

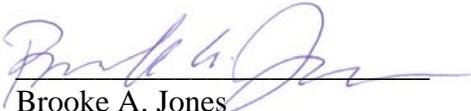
PROPOSED MOTION

If the Plan Commission finds that the petitioner has satisfied the requirements for appearance approval of the signs, an appropriate motion would be to:

Approve Docket No. SCBA 16-6 to permit installation of the new subdivision signs in accordance with the following exhibits submitted April 20, 2016 by the Lakeside Villas, located at 794 Lakeside Circle, Wheeling, Illinois:

- Sign rendering,
- Sign dimensions,
- Sign materials,
- Site plan, and
- Description of existing plant materials (2 sheets).


Andrew C. Jennings, AICP
Director of Community Development


Brooke A. Jones
Senior Planner

Attachments: [Photos of existing conditions \(staff\)](#)

 [Sign rendering](#)

 [Sign dimensions](#)

 [Sign materials](#)

 [Site plan](#)

 [Description of existing plant materials \(2 sheets\)](#)

Lakeside Villas – 794 Lakeside Circle
Docket No. SCBA 16-06 (Appearance Approval of Monument Signs)
Plan Commission Meeting – April 28, 2016



Existing conditions of western sign (looking west)

Lakeside Villas – 794 Lakeside Circle
Docket No. SCBA 16-06 (Appearance Approval of Monument Signs)
Plan Commission Meeting – April 28, 2016



Existing conditions of eastern sign (looking east)



Lakeside Villas

05/21/2015

Exhibit received April 20, 2016

Maria Cardenas

From: aubrey sign company <aubreysigns@sbcglobal.net>
Sent: Wednesday, April 20, 2016 11:07 AM
To: Maria Cardenas
Subject: RE: Wheeling landscape code

Maria:

Apparently, they are not very good at math.

Sign is 36" H x 84" W.

Posts are 96" long. Assume that they will be set in the ground 36" below grade.

This means that the bottom of the sign will be 24" above grade and the top of the sign will be 60" above grade.

(If you want the sign to be 6" higher, then we would adjust the depth accordingly. However, the minimum depth for the posts in the ground is 24".)

Let me know if you need anything else.

Best regards,

Mike Hoffer, President
The Aubrey Sign (and Awning) Company
1847 Suncast Lane
Batavia, IL 60510
630-482-9901
630-482-9906 (fax)
aubreysigns@sbcglobal.net
www.aubreysigns.com
Like us on Facebook 

From: Maria Cardenas [mailto:mcardenas@hillcrestmgmt.com]
Sent: Wednesday, April 20, 2016 10:43 AM
To: aubrey sign company <aubreysigns@sbcglobal.net>
Subject: FW: Wheeling landscape code

Mike,

Please be more specific so that the Board can move forward with the permits. Sorry for this, but I'm stuck in the middle of this and I need your assistance to move forward.

Thank you.

Exhibit received April 20, 2016

Brooke Jones

From: aubrey sign company <aubreysigns@sbcglobal.net>
Sent: Wednesday, April 20, 2016 4:11 PM
To: 'Maria Cardenas'
Cc: Brooke Jones
Subject: RE: Lakeside Villas - New Entrance Signage Application

Follow Up Flag: Follow up
Flag Status: Completed

The sign panel is sandblasted/routed/painted 1.5" cedar. The posts are solid, treated wood.

Best regards,

Mike Hoffer, President
The Aubrey Sign (and Awning) Company
1847 Suncast Lane
Batavia, IL 60510
630-482-9901
630-482-9906 (fax)
aubreysigns@sbcglobal.net
www.aubreysigns.com
Like us on Facebook 

From: Maria Cardenas [<mailto:mcardenas@hillcrestmgmt.com>]
Sent: Wednesday, April 20, 2016 3:19 PM
To: aubrey sign company <aubreysigns@sbcglobal.net>
Cc: Brooke Jones <BJones@wheelingil.gov>
Subject: FW: Lakeside Villas - New Entrance Signage Application

Please reply to her question about material.

Thank you.



www.hillcrestmgmt.com



MiCárdenas

Maria I. Cárdenas
Licensed Property Manager

Direct Fax: 847-325-0990
Ofc: 630-627-3303 | Fax: 630-627-0033
55 West 22nd Street, Suite 310
Lombard, IL 60148

Check out our new website!

Exhibit received April 20, 2016

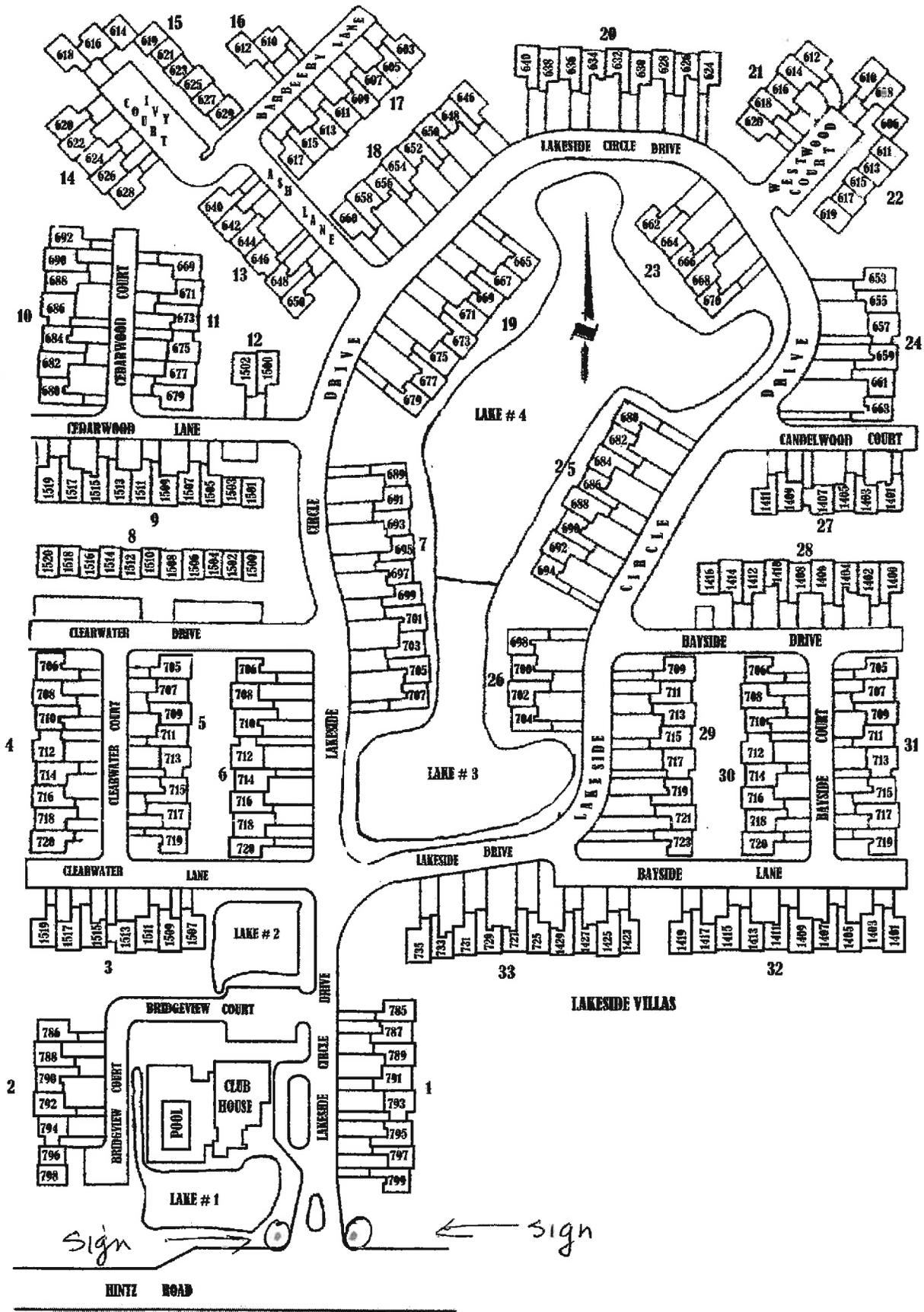


Exhibit received April 20, 2016



Lakeside Villa Tree/Shrub Inventory Near Signs at Entrance

April 16 2016

East Side Bed It is approximately 360 Sq Ft

24" diameter Silver Maple

6" crabapple

Five Yews

Six Cotoneaster shrubs

West Side Bed It is approximately 425 Sq Ft

20" Silver Maple

Six Cotoneaster shrubs

Five Yews

Exhibit received April 20, 2016



1435 Yorkshire Drive • Streamwood, Illinois 60107 • (630) 213-7900 • Fax: (630) 213-7959

April 19, 2016

Lakeside Villas
c/o Hillcrest Management
55 West 22nd Street
Suite 310
Lombard, Illinois 60148
Attention: Maria Cardenas

PERENNIAL INVENTORY NEAR SIGNS AT ENTRANCE:

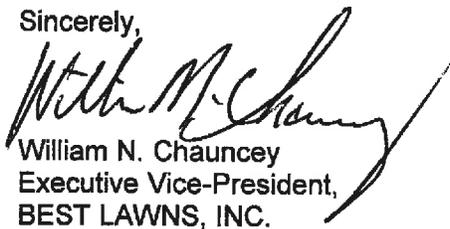
East Side Bed:

Seventeen daylily perennial plants
Five 'Autumn Joy' sedum groundcover

West Side Bed:

Fourteen daylily perennial plants
Three 'Lily of the Valley' groundcover

Sincerely,



William N. Chauncey
Executive Vice-President,
BEST LAWNS, INC.

Exhibit received April 20, 2016

REQUEST FOR PLAN COMMISSION ACTION
STAFF PROJECT REVIEW

TO: Chairperson Ruffatto and Members of the
Wheeling Plan Commission

FROM: Andrew C. Jennings, Director of Community Development
Brooke A. Jones, Senior Planner

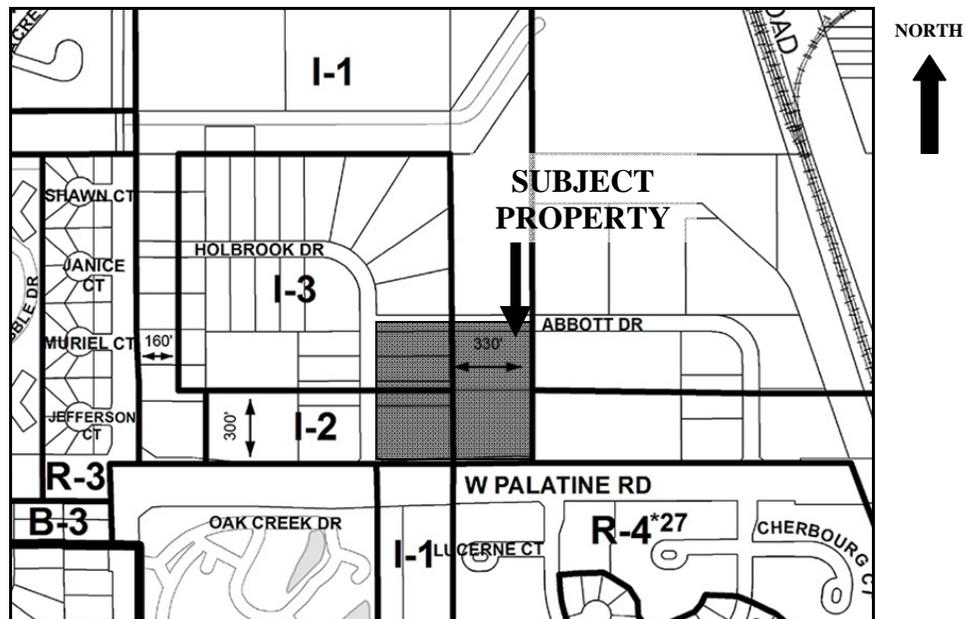
RE: **Docket No. 2016-8A&B**
Dynomax
230 W. Palatine Road
(2015-8A) Rezoning the Eastern Portion of the Site from I-1
Light Industrial and Office District to I-2
Limited Industrial District
(2015-8B) Special Use-Site Plan Approval for Hazardous
Materials Storage

DATE OF REPORT: April 20, 2016

DATE OF MEETING: April 28, 2016

PROJECT OVERVIEW: The petitioner is seeking multiple zoning actions to establish a medium manufacturing facility at 230 W. Palatine Road, which is currently zoned I-1 Light Industrial and Office, I-2 Limited Industrial, and I-3 General Industrial. The petitioner proposes to rezone the eastern half of the property from I-1 to I-2. The petitioner is also seeking a special use permit for hazardous materials storage.

LOCATION MAP:



GENERAL PROPERTY INFORMATION

Applicant Name: Thomas Hill, Attorney for Dynamax

Property Owner: Ron Lemmon

Common Property Address: Located north of Palatine Road, east of Holbrook Drive

Neighboring Property Land Use(s): North: Industrial
South: Multi-Family Residential
West: Industrial
East: Industrial

Comprehensive Plan Designation: Industrial

Property size: Approximately 7.39 acres (total lot)
171,466 sq. ft. (building)

Existing Use of Property: Vacant industrial

Proposed Use of Property: Medium manufacturing and hazardous material storage

Existing Property Zoning: I-1 Light Industrial and Office, I-2 Limited Industrial, and I-3 General Industrial

Proposed Property Zoning: I-2 Limited Industrial and I-3 General Industrial

Previous Zoning Action on Property:
2005-21 Ord. No. 3995, passed 8/08/2005, granted zoning variations related to front yard setback and maximum lot coverage.

DESCRIPTION OF PROPOSAL

The petitioner, Dynamax Inc., plans to use the subject property for manufacturing and assembly of high-precision machined components. Dynamax currently operates three similar facilities nearby. The petitioner seeks to consolidate these existing facilities under one roof at 230 W. Palatine Road for the purposes of improving manufacturing process efficiency, resource utilization, and reducing expenses.

In order to operate at the subject property, Dynamax is seeking the following actions: rezoning a portion of the property from I-1 to I-2 and special use-site plan approval for hazardous materials storage.

Currently, the eastern half of the property is zoned I-1 Light Industrial and Office District and the western half of the property is split zoned I-2 Limited Industrial District and I-3 General Industrial District. The petitioner is proposing to rezone the eastern half of the property from I-1 to I-2. The rezoning will allow for medium manufacturing, which is a permitted use in the I-2 and I-3 Districts. Medium manufacturing is not permitted in the I-1 District.

The petitioner is also requesting special use-site plan approval for hazardous materials storage. Hazardous materials storage is a special use in all industrial districts. Hazardous materials storage is defined as warehousing or bulk storage facilities for hazardous, toxic, flammable, explosive or other dangerous materials. The petitioner has provided a two-page letter detailing its manufacturing and storage operations and associated safety measures. A letter regarding air emission testing has also been provided. In association with the special use request, Dynamax is proposing landscaping and site lighting improvements. Landscape and photometric plans have been provided.

SITE PLAN REVIEW

Scale of Site Plan: 1" = 30' (landscape plan)

Proposed General Site Layout: No changes are proposed to the building footprint or parking lot configuration.

Total Number of Parking Spaces: There are 213 existing parking stalls. The parking demand for the subject property is based upon a mix of office (10%), manufacturing (35%) and warehouse (55%) space. The total parking requirement is 283 spaces. For industrial properties with a total floor area of at least 80,000 square feet, a 25% parking reduction may be allowed. Applying the 25% reduction, the total parking requirement is 212 spaces. The proposed use meets the parking requirements of the Zoning Code.

Ownership: The applicant has entered into a lease agreement for the subject property contingent on its zoning approval.

Site Lighting: A photometric plan and lighting specs have been provided. A combination of pole-mounted and wall-mounted fixtures are proposed. The plan appears to meet the lighting requirements of the Zoning Code.

Fencing: The split rail wood fence at the eastern property line will be removed.

Sidewalks: There is no existing public sidewalk. New patios and walkways are planned.

Bicycle parking: It does not appear that bicycle parking has been provided. Bicycle parking for 21 is required by the Code. The Plan Commission may wish to discuss options (interior or exterior) for bicycle parking with the petitioner.

LANDSCAPING PLAN REVIEW

Existing Landscaping to Be Removed: Many trees (Ash and Hawthorn) will be removed due to their poor condition. Some shrubs and groundcover will be removed from existing beds to accommodate new plant material.

Existing Landscaping to Remain: Some existing pine, crabapple, and maple trees will remain. Most of the existing lawn will remain. Limited areas of the lawn will be re-graded and repaired.

Proposed Landscaping: New shade trees, deciduous shrubs, shrubs with winter interest, decorative grasses and groundcover (sweet flag and lilyturf) are proposed. A rain garden near the Palatine Road building entrance is also proposed.

Landscape Irrigation: No details have been provided.

STANDARDS FOR SPECIAL USE

Following are standards for special use with the petitioner's responses. **(Staff comments are in bold.)**

1. State why the Special Use is necessary for the public convenience at the proposed location. (Explain how the proposed use will benefit residents, the neighborhood or the community-at-large.)

“Dynamax, Inc. believes its use of the Subject Property will benefit the surrounding community and the Village of Wheeling. Dynamax Inc.’s occupancy of the Subject Property will ensure that the Subject Property remains in a state of good repair. Dynamax, Inc. will continue to be an active member of the community, as demonstrated by its participation in food and clothing drives, Toys for Tots programs, participation in local STEM education programs in High Schools and Community Colleges, and participating in Wheeling Chamber of Commerce activities. Additionally, the Village of Wheeling can expect Dynamax, Inc. and its employees, as well as the suppliers that visit Dynamax, Inc.’s facility, to invest commercially back into the community by visiting local establishments such as restaurants, gas stations, hotels and more. Moreover, Dynamax, Inc. intends to invest in landscaping improvements to the property to improve its appearance, as indicated by the attached landscaping plan, which will benefit neighboring properties.”

The proposed hazardous materials storage use will allow Dynamax to consolidate its manufacturing operations at one facility.

2. State how the special use will not alter the essential character of the area in which it is to be located. (Explain how the proposed special use is appropriate for the neighborhood or shopping center and how the overall character will not be affected by the special use.)

“The Subject Property is surrounded by similar industrial properties on its north, east, and west sides; thus, Dynamax, Inc.’s use of the Subject Property will conform to the surrounding properties and will not alter the essential character of the area in which it is to be located. The special use will not cause any substantial increase in traffic to the site. Dynamax will use the side streets Abbott Drive and Holbrook Drive as the primary points of ingress and egress at the subject property. Moreover, Dynamax, Inc. expects that semi-trailer traffic will be reduced substantially from current levels, as Dynamax, Inc.’s products are small and often transported by UPS and FedEx. As it does at all of its

facilities, Dynamax, Inc. will install stringent pollution controls, including air scrubbers and water filtrations systems, which will be tested by independent third parties. The special use will not create pollution such as noise, odor, smoke or light. Dynamax, Inc. will keep the Subject Property in good repair.”

The subject property is zoned industrial and is surrounded by industrial properties. The petitioner will comply with all required safety measures for the hazardous materials storage. There will be no perceived difference in manufacturing operations at this location from surrounding properties due to the hazardous materials storage.

3. State how the location and size of the Special Use, the nature and intensity of the operation involved in or conducted in connection with it, the size of the site in relation to it, and the location of the site with respect to streets giving access to it, will be in harmony with and will not impede the normal, appropriate, and orderly development of the district in which it is to be located and the development of surrounding properties. (Explain how the proposed use will allow the surrounding area to develop appropriately. Is the use too large for the site? Will it be in a location on the lot that will cause conflicts with adjacent properties? Does the use create noise, odor, smoke, or light that will affect other properties?)

“Dynamax, Inc. believes the Subject Property will be ideal for Dynamax, Inc.’s use. Dynamax Inc. seeks to consolidate three other facilities it currently operates under a single roof to improve its manufacturing process efficiency. There are currently approximately 175 parking spots at the Subject Property designated for Dynamax, Inc.’s use, which will be more than sufficient to accommodate the employees, guests and operations of Dynamax, Inc. The amount of office space in the Subject Property will be sufficient for Dynamax, Inc.’s operations. As part of its operations at the subject property, Dynamax, Inc. will need to store chemicals at the facility. These chemicals fall into four categories: strong acids, strong bases, toxic chemicals, and flammable materials. Examples of strong acids that will be kept at the subject property include nitric and sulfuric acid, which are typically stored in 5 gallon containers. Strong bases that will be kept at the facility include sodium hydroxide, which is also stored in 5 gallon containers. Strong acids and bases are kept segregated from each other in location B and C of the attached site plan of the metal finishing area. Toxic materials, including various chemicals containing hexavalent chromium, are stored in containers of up to 55 gallons. Flammable materials, including acetone, MEK, and isopropanol, are stored in 5 gallon containers in location A of the attached site plan of the metal finishing area. All chemicals are stored safely and isolated from forklift traffic. Dynamax, Inc. believes its use will be complimentary to the properties surrounding the Subject Property. Dynamax, Inc. will install pollution controls to ensure the special use does not emit any air or water pollution. The special use will not cause an increase in odor, smoke or light pollution to the area. Moreover, by consolidating its existing facilities into a single location, the special use permit seeks to reduce the overall footprint of facilities storing such chemicals within the Village of Wheeling. Dynamax, Inc. believes that, on average, a total of approximately seventy to one hundred vehicles will access the Subject Property daily Monday through Friday with regards to Dynamax, Inc.’s operations, and approximately thirty to fifty total vehicles will access the Subject Property on weekends;

thus, Dynamax, Inc.'s operations at the Subject Property will likely not create any traffic issues for the area. Dynamax, Inc. will continue to keep the Subject Property in a state of good repair. Dynamax, Inc.'s hours of operation at the premises will be Monday through Saturday, 6:00 a.m. until 12:00 a.m. The facility will be closed on Sundays."

The proposed hazardous materials storage use, in conjunction with the medium manufacturing use, will be compatible with the surrounding developments of the I-1, I-2 and I-3 Districts.

4. State how the location, nature and height of buildings, walls and fences, and the nature and extent of the landscaping on the site shall be such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings, or will not impair the value thereof. (Explain how the proposed use will not prevent development on adjacent properties. Will the proposed use have a negative impact on existing adjacent land uses?)

"Dynamax, Inc.'s use of the Subject Property will reflect the uses of the surrounding properties. Dynamax, Inc. will use the site for manufacturing and assembly, office space, and staff parking at the Subject Property. The Subject Property is currently surrounded on the north, east and west sides by industrial properties. Semi-trailer trucks are already a frequent presence due to the nature of these neighboring industrial properties. Dynamax, Inc. will primarily utilize the ancillary streets Abbott Drive and Holbrook Drive, which it shares with the neighboring industrial properties. Dynamax, Inc. will ensure that its Subject Property is in a state of good repair. Dynamax, Inc.'s use of the Subject Property will not cause an increase in pollution to the area such as noise, odor, smoke or light pollution. Dynamax, Inc. will invest in landscaping improvements to the Subject Property which will also benefit neighboring properties."

The landscaping at the subject property is currently in need of maintenance and repair. Many improvements, including the installation of new trees, shrubs, and flowers, are proposed.

5. State how the parking areas will be of adequate size for the particular use, properly located, and suitably screened from adjoining residential uses, entrance and exit drives shall be laid out so as to prevent traffic hazards and nuisances, and the development will not cause traffic congestion. (Is adequate parking provided? Is parking area visible from adjacent homes? Are the entrance and exit drives designed for safe access to the site? Will the special use generate so much traffic as to cause congestion? Will visitors to the special use access the site through residential streets?)

"Dynamax, Inc.'s use of the Subject Property is appropriate for the site and will not affect the surrounding area. Dynamax, Inc. has approximately 175 parking spots on the northwest and east ends of the Subject Property which meet Dynamax, Inc.'s needs for its operations. Dynamax, Inc. does not expect its operations to contribute to a substantial increase in traffic in the area. The Subject Property is separated from the nearest residential properties by Palatine Road. The nearest residential properties, located to the south of the Subject Property and across Palatine Road, open up to separate streets and do not share points of ingress and egress with the Subject Property. To the north, east, and west of the Subject Property are similar industrial properties. Dynamax, Inc. will

keep the Subject Property in good repair so as not to disturb the surrounding industrial properties. The Subject Property's primary points of ingress and egress are through Abbott Drive and Holbrook Drive, which already see trailer traffic through their utilization by the surrounding industrial properties. Dynamax, Inc. believes that, in total, approximately seventy to one hundred vehicles will access the Subject Property daily Monday through Friday with regards to Dynamax, Inc.'s operations; thus, Dynamax, Inc.'s operations at the Subject Property will likely not create any traffic issues for the area. As the neighboring properties are already occupied by industrial entities, the ingress and egress to the Subject Property is already being safely used for industrial purposes."

The proposed use will not cause additional traffic or require additional parking. The proposed access drives appear adequate for the proposed use.

6. State how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulation in that zone. (Other than the special use listed in this application, the proposal must meet all other requirements of the Zoning Code. Note any other exceptions.)

"The zoning does not properly take into account that the Dynamax, Inc. will take good care of the property and ensure that it is well maintained. In addition, Dynamax, Inc. is prepared to make substantial investments in the building, including the roof, HVAC system, parking lot, and lighting. Dynamax, Inc. expects the cost of such improvements to total \$1,500,000. Furthermore, Dynamax, Inc. intends to invest in landscaping improvements to beautify the property and improve its curb appeal. As a result, Dynamax, Inc.'s presence in the facility will benefit not only the subject property itself, but neighboring properties as well."

In addition to the proposed special use, the petitioner is requesting a rezoning of the eastern half of the site from I-1 Light Industrial and Office District to I-2 Limited Industrial District.

STANDARDS FOR REZONING

Following are standards for variation with petitioner's responses. *The petitioners' response to the following questions has been shown in italics.* **Staff comments are in bold.**

1. Will the proposed rezoning comply with the intent and purpose of Title 19, Zoning? (Explain how the proposed uses allowed by the rezoning will conform to the zoning code.)

"The proposed rezoning of the property at 230 Palatine complies with the intent and purpose of Title 19, Zoning. The Subject Property is currently under I-1, I-2, and I-3 split zoning. The proposed rezoning will not affect the portion of the property under I-3 zoning, but will bring the portion of the property zoned as I-1 up to I-2. As a result, the property will be under split I-2 and I-3 zoning. Several neighboring properties in the immediate vicinity of the Subject Property are currently zoned as I-2, including a portion

of the Subject Property itself. The proposed rezoning will not change the character of the neighborhood or neighboring developments, have a negative impact on public safety or convenience, or be a source of light, air, water, or noise pollution.”

Currently, the site is located in three different zoning districts: the eastern half is I-1, the southwest quadrant is I-2 and the northwest quadrant is I-3. The applicant proposes to rezone the I-1 portion to I-2. As such, the majority of the site (approximately three-quarters) will be zoned I-2 and the northwest corner will remain I-3. The proposed rezoning will be consistent with neighboring land uses and zoning districts.

2. Will the proposed rezoning comply with the Comprehensive Plan, Official Map and all other plans and policies adopted by the Village? If not, explain why the rezoning is in the best interest of the Village. (*Explain in detail how the uses allowed by the text amendment follow the Comprehensive Plan or how a text amendment contrary to the Comprehensive Plan is appropriate.*)

“The proposed rezoning will comply with the Comprehensive Plan, Official Map, and all other plans and policies adopted by the village. The property is already subject to partial I-2 split zoning and the proposed rezoning merely seeks to extend this zoning through the portion of the facility currently zoned as I-1. Moreover, the subject property is already bordered by several neighboring facilities which are subject to I-2 Zoning. Dynamax, Inc. expects that the rezoning will substantially decrease the amount of semi-trailer traffic to and from the subject property. The rezoning will not result in a significant increase in pollution such as noise, light, odor, or smoke.”

The Comprehensive Plan designates the existing and future land use of the subject property as Industrial. The request is consistent with the Comprehensive Plan

3. How have physical or economic conditions pertaining to a subject area changed, making the existing zoning inappropriate and the proposed rezoning appropriate? (*Explain why the current Zoning Code is inadequate. What specific physical or economic conditions indicate that a change in the Zoning Code is required?*)

“The zoning does not properly take into account that the Dynamax, Inc. will take good care of the property and ensure that it is well maintained. In addition, Dynamax, Inc. will make substantial investments in the building’s roof, HVAC system, parking lot, and lighting. Furthermore, Dynamax, Inc. intends to invest in landscaping improvements to beautify the property and improve its curb appeal, benefitting not only the subject property itself, but neighboring properties as well. In addition, Dynamax, Inc. expects its operations to result in a substantial reduction in semi-trailer traffic to and from the subject property when compared to current operations at the facility.”

There have been no recent physical or economic changes to the subject area. However, the applicant’s desire to consolidate their operations from multiple sites to a single site necessitates the rezoning so that medium manufacturing at the subject property can be established.

4. How is the proposed rezoning desirable and needed in the Village? (*Why is the text amendment needed? What does the rezoning accomplish? How will it benefit the Village?*)

“The proposed rezoning will bring the property under split I-2 and I-3 zoning. The portion of the property currently under I-1 will be rezoned as I-2. Dynamax, Inc. requires I-2 zoning in order to operate at the Subject Property, and the applicant expects its operations to benefit both neighboring properties and the community at large. Dynamax, Inc. will be an active member of the community. Dynamax, Inc. will invest in landscaping improvements to the subject property, as well as invest substantially in the building itself including the roof, lighting, interior, and HVAC systems. Dynamax, Inc. expects that the customers, suppliers, and employees that visit the facility will invest back in to the community by using local establishments such as restaurants, gas stations, and hotels. The rezoning will also benefit neighboring property owners by significantly reducing semi-trailer traffic to and from the subject property.”

The proposed rezoning will make the zoning of the subject property more consistent. It is currently split zoned in three different industrial districts. This constrains the use of the property because the same activities are not permitted by zoning throughout the building. Once the rezoning takes place, medium manufacturing will be permitted throughout the site.

5. How will the proposed rezoning allow for compatible development that will not unduly depreciate the use and value of surrounding properties? (*Consider the types of uses that could be permitted by the text amendment and rezoning. Are these uses compatible with existing neighboring land uses? Will the potential uses have a negative impact on surrounding property values?*)

“The Subject Property is almost entirely surrounded by industrial properties. The neighboring properties to the east, west, and north are primarily industrial properties, while the area to the south of the Subject Property is both residential and industrial properties. Because the Subject Property is bordered by similar-use properties, the proposed rezoning will be compatible with the neighboring properties. Dynamax, Inc.’s operations will not contribute to a substantial increase in traffic to the area. Dynamax, Inc. will employ stringent pollution controls to ensure no air, water, or odor pollution emanates from the subject property. Dynamax, Inc. will invest in landscaping improvements for the subject property that will benefit both the subject property as well as neighboring properties.”

The proposed rezoning will not affect the value of surrounding properties. Most surrounding properties are already zoned I-2 or I-3. The proposed rezoning is consistent with the existing zoning of the area.

6. How will the proposed rezoning contribute to a rational pattern of land uses which is beneficial to the Village? (*Is the proposed text amendment sensible? Are intense uses that create traffic, noise, odor, light, or smoke going to be permitted along a narrow residential street?*)

“The proposed rezoning is compatible with the overall character of the neighborhood and its surrounding properties. The subject property is largely surrounded by industrial properties, many of which are currently subject to I-2 zoning. The subject property’s primary points of ingress and egress are shared by neighboring industrial properties which already experience frequent use by vehicles and tractor trailers. As it does in all of its facilities, including those already located in Wheeling, Dynamax, Inc. will install extremely stringent pollution controls including air scrubbers and waste water filtration systems. Pollution control systems are tested by independent, third parties. Any waste water discharged by the facility is filtered beyond EPA standards and cleaner than most tap water.”

The proposed rezoning will allow for consistent use of the subject property. Moreover, the proposed rezoning will create a consistent I-2 zoning buffer along the north side of the Palatine Road. The parcels to the east and west, along Palatine Road, are already zoned I-2. The subject property is only property in the vicinity that is zoned I-1 and adjacent to Palatine Road.

STAFF REVIEW

Fire Department Review: The Fire Department has submitted comments dated 4.20.2016. The Fire Department believes that the hazardous material storage will meet the Village’s Building and Fire Prevention Codes. All comments in the Fire Department memo will be addressed during permit and/or business licensing review.

Engineering Division Review: The Engineering Division has reviewed the submittal and has no comments at this time.

Impact on Adjacent Uses: There is no significant impact anticipated on adjacent uses.

Staff Recommended Action: Staff recommends that the Plan Commission review the following list of items with the petitioner:

- Determine locations for the required bicycle parking; and
- Determine if landscape irrigation is provided.

PROPOSED MOTIONS

If the Plan Commission approves of the requested rezoning and special use approval for hazardous materials storage, appropriate motions would be to:

Recommend approval of Docket No. 2016-8A, granting a Rezoning from I-1 Light Industrial and Office District to I-2 Limited Industrial District, as illustrated on the staff exhibit “Existing vs. Proposed Zoning” dated April 28, 2016, 230 W. Palatine Road, Wheeling, Illinois.

And recommend approval of Docket No. 2016-8B to grant special use-site plan approval as required under Chapter 19-07 Industrial Districts, Section 19.07.030 I-2 Limited Industrial



MEMO – Fire Prevention Bureau

TO: Brooke Jones, Village Planner
FROM: Ronald S. Antor, Fire Inspector
CC: Andrew Jennings, Director of Community Development
Keith Maclsaac, Fire Chief
FPB File
DATE: April 20, 2016
SUBJECT: Proposed Manufacturing Facility – 230 West Palatine Road – Dynamax Inc. - Plans received for review by the Fire Department, March 25, 2016.

The Wheeling Fire Department has reviewed the submittals received related to the above referenced project and has the following comments:

Site Plan

1. The site plan reviewed is for an existing one story industrial property.
2. Based on the documents reviewed, there are no significant changes to the site, nor are there any changes to existing utilities.
3. The building's existing fire department connection (FDC) shall not be obscured by landscaping, fencing, signs, parking, building utilities – i.e. Com Ed transformers, etc. The current landscaping plan will require minor changes in the vicinity of the fire department connection due to proposed landscaping.

Dynamax Inc. - 230 West Palatine Road – Special Use for the Remodeling of an Existing One Story Industrial Building and New Occupant

1. The proposed use would be located in an existing Mixed Use Occupancy structure. The previous Mixed Use Occupancy consisted of B (Business) Use Group, F (Factory) and S (Storage) Use Group occupancy uses as defined in the 2012 Edition of the International Building (IBC) and Fire Prevention Codes (IFC). Based on the information provided for review, the new tenant's use of the building would also be classified as a Mixed Use Occupancy consisting of a B (Business) Use Group, F (Factory) and S (Storage) Use Group occupancies.

In addition, like other manufacturing facilities within the Village the petitioner will be storing and using a variety of products that are classified as hazardous materials (i.e. – Flammable liquids, corrosives, etc.) for their manufacturing needs. The Fire Department has been in contact with the petitioner and has received preliminary information on the items the petitioner

Ms. Brooke Jones

SUBJECT: Proposed Manufacturing Facility – 230 West Palatine Road – Dynamax Inc. - Plans received for review by the Fire Department, March 25, 2016.

April 20, 2016

Page 2

will be using and storing in their facility that could be classified as a hazardous material. Based on this preliminary work, the Fire Department believes that the petitioner will be in compliance with the Village's Building and Fire Prevention Codes relating to the use and storage of these materials.

2. All construction related to the remodeling and occupancy classifications would need to comply with the Village's Building and Fire Prevention Codes (2012 Editions of the International Building Code & International Fire Code – with amendments). The current submittal documents do not contain sufficient information to evaluate the proposed building related to these codes. Some of the code requirements that this would include are:
 - a. The existing building is a fully sprinklered occupancy and this system will require modifications based on the remodeling and the uses within the structure. This system shall be designed and installed in accordance with NFPA 13.
 - b. The building's existing fire alarm system will be required to be improved or replaced. These improvements or new system shall be designed and installed in accordance with NFPA 72.

At this time there are no other Fire Department comments related to the project as presented in the documents reviewed.

Dynomax – 230 W. Palatine Road

Docket No. 2016-8A&B (Rezoning a portion of the site from I-1 Light Industrial and Office District to I-2 Limited Industrial District and Special Use-Site Plan Approval for Hazardous Materials Storage)
Plan Commission Meeting – April 28, 2016



**Existing conditions along Holbrook Drive
(looking northeast)**

Dynomax – 230 W. Palatine Road

Docket No. 2016-8A&B (Rezoning a portion of the site from I-1 Light Industrial and Office District to I-2 Limited Industrial District and Special Use-Site Plan Approval for Hazardous Materials Storage)
Plan Commission Meeting – April 28, 2016



Looking east



Looking west

Existing conditions along Palatine Road

Dynomax – 230 W. Palatine Road

Docket No. 2016-8A&B (Rezoning a portion of the site from I-1 Light Industrial and Office District to I-2 Limited Industrial District and Special Use-Site Plan Approval for Hazardous Materials Storage)
Plan Commission Meeting – April 28, 2016



**Existing conditions along Abbott Drive
(looking south)**

Dynomax – 230 W. Palatine Road

Docket No. 2016-8A&B (Rezoning a portion of the site from I-1 Light Industrial and Office District to I-2 Limited Industrial District and Special Use-Site Plan Approval for Hazardous Materials Storage)
Plan Commission Meeting – April 28, 2016



**Existing conditions along Abbott Drive
(looking south)**

Dynomax – 230 W. Palatine Road

Docket No. 2016-8A&B (Rezoning a portion of the site from I-1 Light Industrial and Office District to I-2 Limited Industrial District and Special Use-Site Plan Approval for Hazardous Materials Storage)
Plan Commission Meeting – April 28, 2016



**Existing conditions of eastern property line
(looking west)**

230 Palatine Drive, Wheeling, Illinois
Operations and Special Use Details

Dynomax, Inc. seeks a Special Use Permit for the storage of Hazardous Materials at the Subject Property, which is available as a Special Use under I-2 Zoning.

Dynomax, Inc. currently operates three facilities near the subject property, but seeks to consolidate these into a single facility to improve manufacturing process efficiency, resource utilization, and reduce expenses. Like Dynomax, Inc.'s existing locations, the facility will be used for manufacturing and assembly of high-precision machined parts. Specifically, the activities which will take place at the facility include connector component manufacturing, metal component machining, plastic and silicone rubber injection molding, manufacturing of injection mold tooling, manufacturing equipment automation and assembly, machine tool spindle design and assembly, and metal finishing and coatings for military and aerospace applications.

As part of its operations at the subject property, Dynomax, Inc. must store certain chemicals at the facility that are necessary for its manufacturing and assembly processes. As it does with all of its current facilities, Dynomax, Inc. will exercise the utmost care and regard for safety concerning the storage of any and all chemicals located on the premises. The chemicals that will be located at the facility fall into four categories: strong acids, strong bases, toxic chemicals, and flammable materials. Examples of strong acids that will be kept at the subject property include nitric and sulfuric acid, which are typically stored in 5 gallon containers. Strong bases that will be kept at the facility include sodium hydroxide, which is also stored in 5 gallon containers. Strong acids and bases are kept segregated from each other in location B and C of the attached site plan of the metal finishing area. Toxic materials, including various chemicals containing hexavalent chromium, are stored in containers of up to 55 gallons. Flammable materials, including acetone, MEK, and isopropanol, are stored in 5 gallon containers in location A of the attached site plan of the metal finishing area. Flammable materials are kept in a steel room with explosion proof electrical fixtures, sprinklers, and containment berms. All chemical are stored safely in designated areas and isolated from forklift traffic. Dynomax, Inc. endeavors not to store these materials on site unless necessary and Dynomax, Inc. will not place orders for chemicals until a need is present.

Dynomax, Inc. employees undergo extensive safety training and are highly knowledgeable about the chemicals employed at the facility. All Dynomax, Inc. employees are educated on the chemicals located at the facility and the appropriate personal protective equipment for handling them. Employees are taught the procedures to minimize spills and accidents, and cleanup equipment and materials are kept on hand at all times. Dynomax, Inc. maintains strong relationships with outside parties, including the Fire Department, in the event emergency help is required.

As part of its operations, Dynomax, Inc.'s manufacturing and assembly processes do generate some waste water and air emissions. However, Dynomax, Inc. employs the highest grade filtration systems at its facilities in order to combat and neutralize these emissions. Dynomax, Inc.'s filtration systems are composed of two groups: (i) waste water filtration, and

(ii) air emissions filtration. The on-site waste water filtration system treats the majority of waste water generated at the facility using specialized equipment designed specifically for the application. Specifically, the system treats waste water containing dilute chromium that is used in rinse tanks and one chemical process tanks which contains small quantities of chromium. The dilute chromium waste water is treated in a four stage process. First, the water is filtered through several stages of mechanical filters ranging from 200 um to 10 um. These filters remove any solid particles suspended in the water. Second, the water is filtered through ion exchange cylinders containing a charged resin. As a result of having an opposite ionic charge, the charged resin attracts hexavalent chrome to it. These cylinders are then shipped offsite to be cleaned according to EPA/manufacturer's requirements. Third, water is filtered through cylinders with a special media to remove trivalent chrome, which functions similarly to ion exchange cylinders by attracting trivalent chrome. These cylinders are also shipped offsite to be cleaned according to EPA standards and the manufacturer's requirements. Fourth, the pH level of the water is adjusted to neutral before being discharged into the municipal sewer.

As a result of the four-stage water filtration process, any water discharged from the facility contains less chromium and other metals than standard tap water. Moreover, waste water from the facility is collected by an independent third-party every six months to be tested for compliance with EPA and local government regulations. Any waste water that cannot be treated in house is transported to specialists capable of either treating or disposing of the waste water. Dynamax, Inc. keeps shipping manifests for all waste water transported offsite, and these manifests are permanently kept on file at the facility to ensure compliance with regulations. Air and exhaust emissions are filtered using air scrubbers manufactured by MAPCO. These air scrubbers employ water mists, fiberglass mesh pad filters, and heap filters to remove any exhaust emissions. Like the water filtration systems, the air exhaust filtration system is tested annually by an independent third-party. The results of these tests are sent to several government agencies to ensure compliance with EPA and local government regulation regarding air cleanliness.

Dynamax, Inc. carries a sterling reputation for safety and a history of prudent and responsible management of its facilities. Through a combination of training, preparation, and implementation of inherently safe procedures, Dynamax, Inc. endeavors to minimize any risk associated with its manufacturing and assembly processes. With approval of the proposed rezoning for the subject property, Dynamax, Inc. looks forward to growing its relationship with the Village of Wheeling and continuing to be a part of the local business community.

Exhibit received April 5, 2016



SCIENTIFIC CONTROL LABORATORIES, INC.
TESTING • CONSULTING

January 14, 2016

Stephen Toth
Dynamax, Inc.
708 Armstrong Drive
Buffalo Grove, Illinois 60089

Re: Potential Air Emissions from Proposed Wheeling Facility

Dear Mr. Toth,

In response to your request, based on the air emission testing that we conducted at your current facility in Buffalo Grove in 2014 and 2015, we can conclude that your Buffalo Grove facility meets both state and federal air quality standards and regulations and there is no reason to believe that these compliant emissions won't be the same at your proposed Wheeling facility if the same process and pollution control equipment is installed and operated in the same manner as it currently is at your Buffalo Grove facility.

If you have any questions, please do not hesitate to call me at 773-254-2406 ext. 26.

Respectfully submitted,



Jeffrey Zak
Engineering Services

Exhibit received March 18, 2016



SURVEYOR INFORMATION
Sarko Engineering Inc.
 ILLINOIS AND WISCONSIN
 Professional Land Surveyors
 847 Highway JG
 Mt. Horeb, WI 53572
 Phone: (608) 832-6297
 Fax: (608) 832-6349
 E-mail: rsarko@mhtc.net

ALTA/ACSM LAND TITLE SURVEY



Legend of Symbols & Abbreviations

- | | | | | | |
|--|----------------------|--|-------------------------------|--|----------------------------|
| | Power Pole | | Flag Pole | | Storm Manhole |
| | Power Pole w/Light | | Sign (As Noted) | | Storm Inlet (Square) |
| | Light Pole | | Well Head | | Storm Inlet (Round) |
| | Telephone Pole | | Satellite Dish | | Curb Storm Inlet |
| | Guy Wire | | Tower | | Storm Pipe |
| | Sight Light | | Water Valve | | Sanitary Sewer |
| | Ground Light | | Fire Hydrant | | Sanitary Clean Out |
| | Electric Manhole | | Siamese Fire Hydrant | | Gas Valve |
| | Telephone Manhole | | Water Manhole | | Gas Manhole |
| | Telephone Pedestal | | Water Meter Pit | | Gas Meter |
| | Electric Meter | | Water Meter | | Gas Marker |
| | Cable Box | | Sprinkler Head | | Indicates Mutual Ownership |
| | Air Conditioner Unit | | Indicates Handicapped Parking | | Tree (As Noted) |
| | Railroad Signals | | | | |
- TS TRAFFIC SIGNAL MANHOLE
 ☆ TRAFFIC SIGNAL LIGHTPOLE
X.X' DENOTES DISTANCE FROM BUILDING CORNER TO PROPERTY LINE
X.X' DENOTES DISTANCE FROM BUILDING CORNER TO BUILDING SIDELINE
 (X.X) DENOTES RECORD DATA

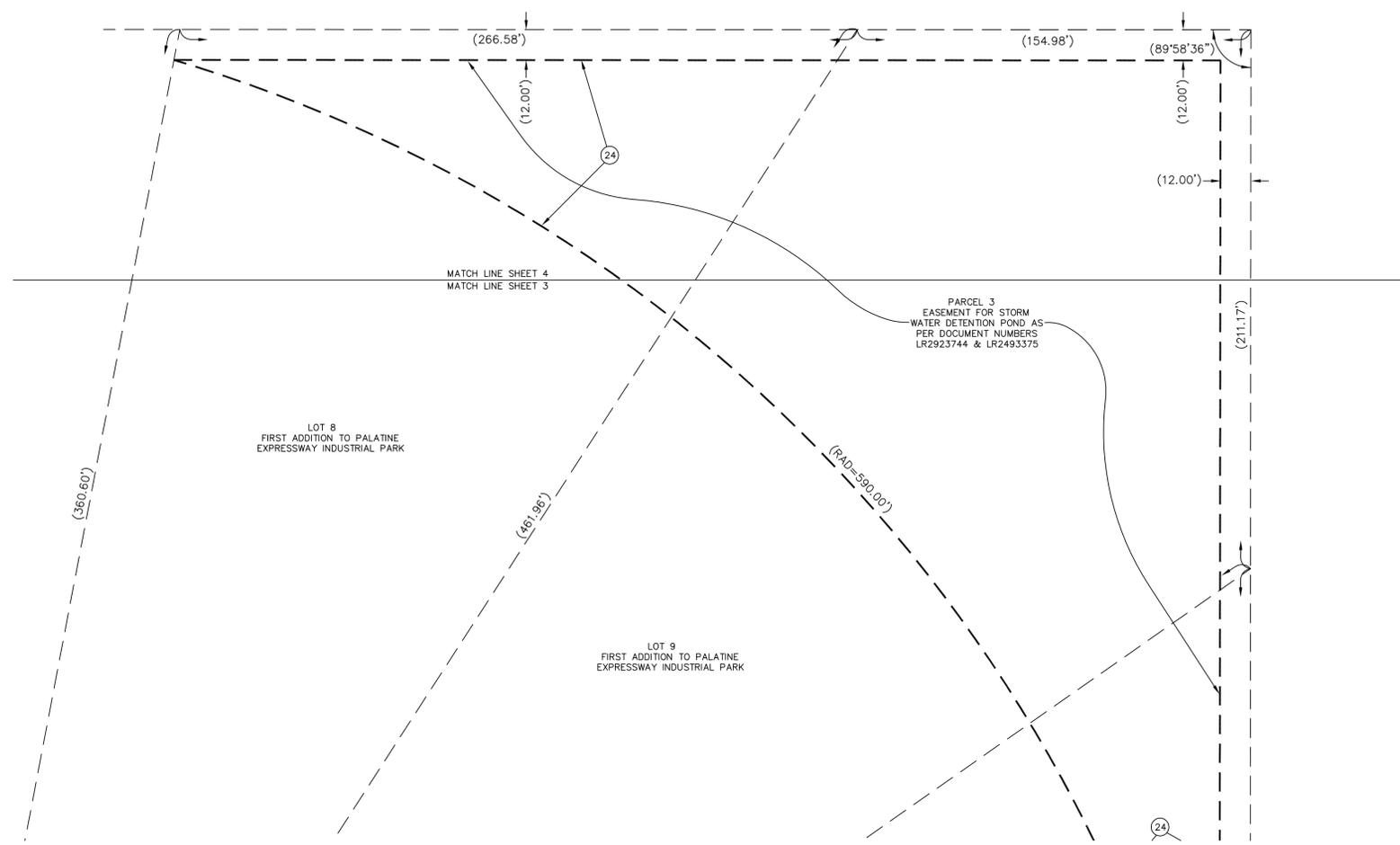
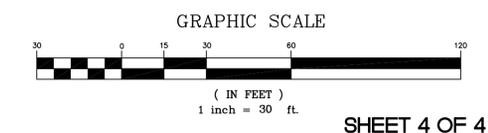


Exhibit received March 18, 2016



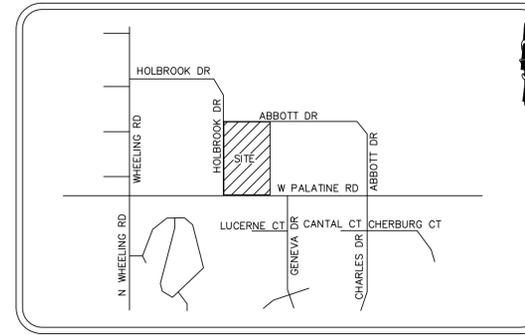
PREPARED FOR:
SCHOENBERG FINKEL NEWMAN & ROSENBERG LLC
 222 SOUTH RIVERSIDE PLAZA, SUITE 2100
 CHICAGO, ILLINOIS 60606

PREPARED BY:
Sarko Engineering Inc.
ILLINOIS AND WISCONSIN PROFESSIONAL LAND SURVEYORS
 847 HIGHWAY JG, MT. HOREB, WI 53572-6297 FAX: (608)832-6349
 EMAIL: RSARKO@MHTC.NET

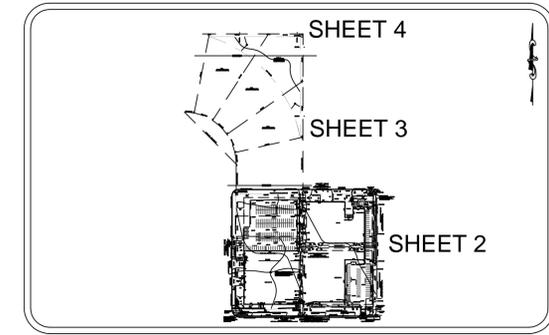
DRWN BY: VPS	REVISION 1:
APRVD BY: RFS	REVISION 2:
DATE: 8-2-2012	
SCALE: 1"=30'	
PROJECT ADDRESS: 230 West Palatine Rd	
PROJECT LOCATION: Wheeling, IL	
PROJECT NAME: Cano Packaging Corp.	
JOB NUMBER: 42070	

SURVEYOR INFORMATION
Sarko Engineering Inc.
 ILLINOIS AND WISCONSIN
 Professional Land Surveyors
 847 Highway 30
 Mt. Horeb, WI 53572
 Phone: (608) 832-6297
 Fax: (608) 832-6349
 E-mail: rsarko@mhct.net

ALTA/ACSM LAND TITLE SURVEY



Vicinity Map
(Not to Scale)



Key Map
(Not to Scale)

Miscellaneous Notes

- All measured and recorded dimensions are the same unless noted otherwise.
- There is no visible evidence of cemeteries or burial grounds on the subject property.
- No monuments shown have identification numbers.
- There was no observable evidence of earth moving work, building construction or building additions within recent months.
- There were no changes in street right of way lines either completed or proposed, and available from the controlling jurisdiction.
- There was no observable evidence of recent street or sidewalk construction or repairs.
- There was no observable evidence of site use as a solid waste dump, sump or sanitary landfill.
- The utility locations shown hereon were determined by observable above ground evidence only. The surveyor was not provided with underground plans or above ground markings to determine any subsurface locations.
- The subject property has access to dedicated public rights-of-way via drive entrances to and from Holbrook Drive, West Palatine Road and Abbott Drive as shown hereon.

BASIS OF BEARINGS:

All bearings are referenced to the East line of Lots 1A and 1B, Clinton Resubdivision of Lot 1 of Clinton Subdivision, Village of Wheeling, Cook County, Illinois recorded September 19, 1977 as Document Number LR-2967919, having a recorded bearing of 500 degrees 02'35"W.

LOT AREA:

322,425 square feet
 7,4019 acres

PARKING NOTE:

203 Regular spaces
 10 Handicap spaces
 213 Total spaces

Record Legal Description

PARCEL ONE:
 LOT ONE "A" AND LOT ONE "B" IN CLINTON RESUBDIVISION OF LOT 1 OF CLINTON SUBDIVISION, BEING A SUBDIVISION OF THAT PART OF SECTION 14, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY ON SEPTEMBER 19, 1977 AS DOCUMENT NUMBER LR2967919, IN COOK COUNTY, ILLINOIS.
 PARCEL TWO:
 LOTS 13, 14, 15 AND 16 IN FIRST ADDITION TO PALATINE EXPRESSWAY INDUSTRIAL PARK BEING A SUBDIVISION IN THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 14, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN ACCORDING TO THE PLAT THEREOF REGISTERED IN THE OFFICE OF THE REGISTRAR OF TITLES OF COOK COUNTY ON FEBRUARY 27, 1970 AS DOCUMENT NUMBER LR-2493375.
 EXCEPT FROM LOT 16, AFORESAID, THAT PART TAKEN BY DEPARTMENT OF TRANSPORTATION, STATE OF ILLINOIS, IN CASE NO. 03 L 050027 (FINAL JUDGMENT ORDER RECORDED AUGUST 10, 2004 AS DOCUMENT NO. 0422310075), AND DESCRIBED AS FOLLOWS:
 BEGINNING AT THE SOUTHWEST CORNER OF SAID LOT 16; THENCE ON AN ASSUMED BEARING NORTH 0 DEGREES 00 MINUTES 52 SECONDS WEST ON THE WEST LINE OF SAID LOT 16, 42.00 FEET; THENCE SOUTH 51 DEGREES 41 MINUTES 11 SECONDS EAST, 30.61 FEET; THENCE NORTH 87 DEGREES 56 MINUTES 49 SECONDS EAST, 544.59 FEET; THENCE SOUTH 88 DEGREES 07 MINUTES 17 SECONDS EAST, 61.54 FEET TO THE EAST LINE OF SAID LOT 1A; THENCE SOUTH 0 DEGREES 01 MINUTE 07 SECONDS EAST ON SAID EAST LINE 59.92 FEET TO THE SOUTHEAST CORNER OF SAID LOT 1A; THENCE SOUTH 89 DEGREES 56 MINUTES 46 SECONDS WEST ON THE SOUTH LINE OF SAID LOT 1A, 629.77 FEET TO THE POINT OF BEGINNING.
 PARCEL THREE:
 NON-EXCLUSIVE EASEMENTS FOR INGRESS AND EGRESS, PARTY WALL, UTILITIES, SUPPORT AND CONSTRUCTION, MAINTENANCE, REPAIR AND RECONSTRUCTION OF IMPROVEMENTS AS CREATED, DEFINED AND LIMITED BY THE FOLLOWING DOCUMENTS: LR2923744, LR3024589 AND LR2493375 FOR THE BENEFIT OF THE LAND DESCRIBED THEREIN.

Items Corresponding to Schedule B

- A 20.00 foot wide Utility Easement contained in Deed recorded as Document Number LR-2759361. This item is not plotted hereon as it does not affect the subject property. Said easement falls within lands taken by the Illinois Department of Transportation as per Final Judgement Order recorded August 10, 2004 as Document Number 0422310075.
- A 12.00 foot wide Public Utility and Drainage Easement as shown on plat of Clinton Subdivision recorded March 1, 1977 as Document Number LR-2923744 and as shown on plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919. This item is plotted hereon and does affect the subject property.
- A 17.00 foot Building Setback Line as shown on plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919. This item is plotted hereon and does affect the subject property.
- A 6.00 foot wide Public Utility Easement contained in Deed recorded as Document Number LR-2967921. This item is plotted hereon as said easement is shown on Lot 1A on the plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919. This item does affect the subject property. This office has not been provided with a copy of said Document Number LR-2967921.
- Covenants, Conditions and Restrictions contained in Deed recorded as Document Number LR-2967921 and Release recorded as Document Number LR-3024586. This item is not plotted hereon as a copy of said Document Number LR-2967921 has not been provided to this office. Therefore, we are unable to determine if this item affects the subject property. This office has been provided with a copy of said Release recorded as Document Number LR-3024586 and the 17.00 foot Building Setback Line along the West line of Lot 1A is not shown hereon as per said Release document.
- Declaration of Easement recorded June 15, 1978 as Document Number LR-3024589. This item is plotted hereon and does affect the subject property.
- A 50.00 foot Building Setback Line as shown on plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919. This item is plotted hereon and does affect the subject property.
- A 35.00 foot Building Setback Line as shown on plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919. This item is plotted hereon and does affect the subject property.
- A 6.00 foot wide Public Utility Easement contained in Deed recorded as Document Number LR-2974700. This item is plotted hereon as said easement is shown on Lot 1B on the plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919. This item does affect the subject property. This office has not been provided with a copy of said Document Number LR-2974700.
- Covenants, Conditions and Restrictions contained in Deed recorded as Document Number LR-2974700 and Release recorded as Document Number LR-3024587. This item is not plotted hereon as a copy of said Document Number 2974700 has not been provided to this office. Therefore, we are unable to determine if this item affects the subject property. This office has been provided with a copy of said Release recorded as Document Number LR-3024587. said Release document releases the 17.00 foot Building Setback Line along the West line of Lot 1A.
- A 12.00 foot Public Utility and Drainage Easement and Reservations as shown on plat of First Addition to Palatine Expressway Industrial Park recorded February 27, 1970 as Document Number LR-2493375. This item is plotted hereon and does affect the subject property.
- Reservation of Easement for Storm Water Detention Pond as shown on plat of First Addition to Palatine Expressway Industrial Park recorded February 27, 1970 as Document Number LR-2493375. This item does not affect the subject property. This item does benefit the subject property.
- A Sanitary Sewer Easement recorded as Document Number LR-2534533. This item is not plotted hereon as it does not affect the subject property.
- Covenants, Conditions and Restrictions contained in Deed recorded as Document Number LR-2659356. This item is plotted hereon and does affect the subject property.
- A 17.00 foot Building Setback Line and Public Utility Easement Reservation contained in Deed recorded as Document Number LR-2659356. This item is plotted hereon and does affect the subject property.
- A 35.00 foot Building Setback Line and Public Utility Easement Reservation contained in Deed recorded as Document Number LR-2659356. This item is plotted hereon and does affect the subject property.
- Covenants, Conditions and Restrictions contained in Deed recorded as Document Number LR-2493803. This item is plotted hereon and does affect the subject property.
- A 17.00 foot Building Setback Line and Public Utility Easement Reservation contained in Deed recorded as Document Number LR-2493803. This item is plotted hereon and does affect the subject property.
- A 35.00 foot Building Setback Line and Public Utility Easement Reservation contained in Deed recorded as Document Number LR-2493803. This item is plotted hereon and does affect the subject property.
- A 50.00 foot Building Setback Line and Public Utility Easement Reservation contained in Deed recorded as Document Number LR-2493803. This item is plotted hereon and does affect the subject property.
- Plat of Vacation recorded January 17, 1978 as Document Number LR-299653. This item is not plotted hereon as a copy of the subject document has not been provided to this office. Therefore, we are unable to determine if this item affects the subject property.

Statement of Encroachments

- A wooden fence encroaches from 35.6 to 36.2 feet South of the South property line into the West Palatine Road right of way.
- A concrete walk encroaches from 0.0 to 5.6 feet South of the South property line into the West Palatine Road right of way.
- The 2 story brick, concrete and stucco building encroaches into a 17.00 foot Building Setback Line and Public Utility Easement Reservation contained in Deed recorded as Document Number LR-2659356.
- The 2 story brick, concrete and stucco building encroaches into a 12.00 foot Public Utility and Drainage Easement and Reservation as shown on plat of First Addition to Palatine Expressway Industrial Park recorded February 27, 1970 as Document Number LR-2493375.
- The 2 story brick, concrete and stucco building encroaches into a 17.00 foot Building Setback Line and Public Utility Easement Reservation contained in Deed recorded as Document Number LR-2493803.
- The 2 story brick, concrete and stucco building encroaches into a 12.00 foot wide Public Utility and Drainage Easement as shown on plat of Clinton Subdivision recorded March 1, 1977 as Document Number LR-2923744 and as shown on plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919.
- The 2 story brick, concrete and stucco building encroaches into a 17.00 foot Building Setback Line as shown on plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919.
- The 2 story brick, concrete and stucco building encroaches into a 6.00 foot wide Public Utility Easement shown on the plat of Clinton Resubdivision of Lot 1 of Clinton Subdivision recorded September 19, 1977 as Document Number LR-2967919.
- A concrete walk encroaches from 0.0 to 6.8 feet South of the South property line into the West Palatine Road right of way.

Legend of Symbols & Abbreviations

	Power Pole		Flag Pole		Storm Manhole
	Power Pole w/Light		Sign (As Noted)		Storm Inlet (Square)
	Light Pole		Well Head		Storm Inlet (Round)
	Telephone Pole		Satellite Dish		Curb Storm Inlet
	Guy Wire		Tower		Storm Pipe
	Sight Light		Water Valve		Sanitary Sewer
	Ground Light		Fire Hydrant		Sanitary Clean Out
	Electric Manhole		Siamese Fire Hydrant		Gas Valve
	Telephone Manhole		Water Manhole		Gas Manhole
	Telephone Pedestal		Water Meter Pit		Gas Meter
	Electric Meter		Water Meter		Gas Marker
	Cable Box		Sprinkler Head		Indicates Mutual Ownership
	Air Conditioner Unit		Indicates Handicapped Parking		Tree (As Noted)
	Railroad Signals		TRAFFIC SIGNAL MANHOLE		
			TRAFFIC SIGNAL LIGHTPOLE		
			DENOTES DISTANCE FROM BUILDING CORNER TO PROPERTY LINE		
			DENOTES DISTANCE FROM BUILDING CORNER TO BUILDING SIDELINE		
			DENOTES RECORD DATA		

Zoning Data

This office has not been provided with the applicable zoning information for the subject property, by the insurer, pursuant to Table A item 6(b).

New Measured Legal Description

Lots 13, 14, 15 and part of Lot 16, First Addition to Palatine Expressway Industrial Park and Lot 1B and part of Lot 1A, Clinton Resubdivision of Lot 1 of Clinton Subdivision, Village of Wheeling, Cook County, Illinois being more particularly described as follows:

Beginning at the Northeast corner of said Lot 1B; thence S00 degrees 02'35"W, 505.51 feet; thence N88 degrees 02'49"W, 61.33 feet; thence S88 degrees 01'17"W, 544.59 feet; thence N51 degrees 36'43"W, 30.86 feet; thence N00 degrees 02'43"E, 503.05 feet; thence N89 degrees 59'55"E, 629.73 feet to the point of beginning.

Contained within said bounds 322,425 square feet or 7,4019 acres.

This description describes all the land described as Parcel One and Parcel Two in the title commitment identified as Chicago Title Insurance Company Commitment Number 1401 008887404 having an effective date of February 17, 2012.

Surveyor's Certification

To: Cano Packaging Corp.; Ronald R. Lemmon Declaration of Trust u/l/a October 6, 1998; First Bank & Trust; Chicago Title Insurance Company; and U.S. Small Business Administration/Small Business Growth Corporation

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11(a), 13, 14, 16, 17 & 18 of Table A thereof. The field work was completed on August 2, 2012.

Roland Sarko

Roland F. Sarko
 Licensed Illinois Professional Land Surveyor
 License Number: 035-002401
 License Expires: 11-30-2012
 Date of Survey: 8-2-2012
 Date of Last Revision: 8-2-2012



FLOOD NOTE: By graphic plotting only, this property is in Zone X of the Flood Insurance Rate Map, Community Panel No. 17031C 0206 J, which bears an effective date of 8-19-2009, and is not in a Special Flood Hazard Area. By telephone call dated 8-1-2012 to the National Flood Insurance Program (800-638-6620) we have learned this community does currently participate in the program. No field surveying was performed to determine this zone and an elevation certificate may be needed to verify this determination or apply for a variance from the Federal Emergency Management Agency.

Exhibit received March 18, 2016

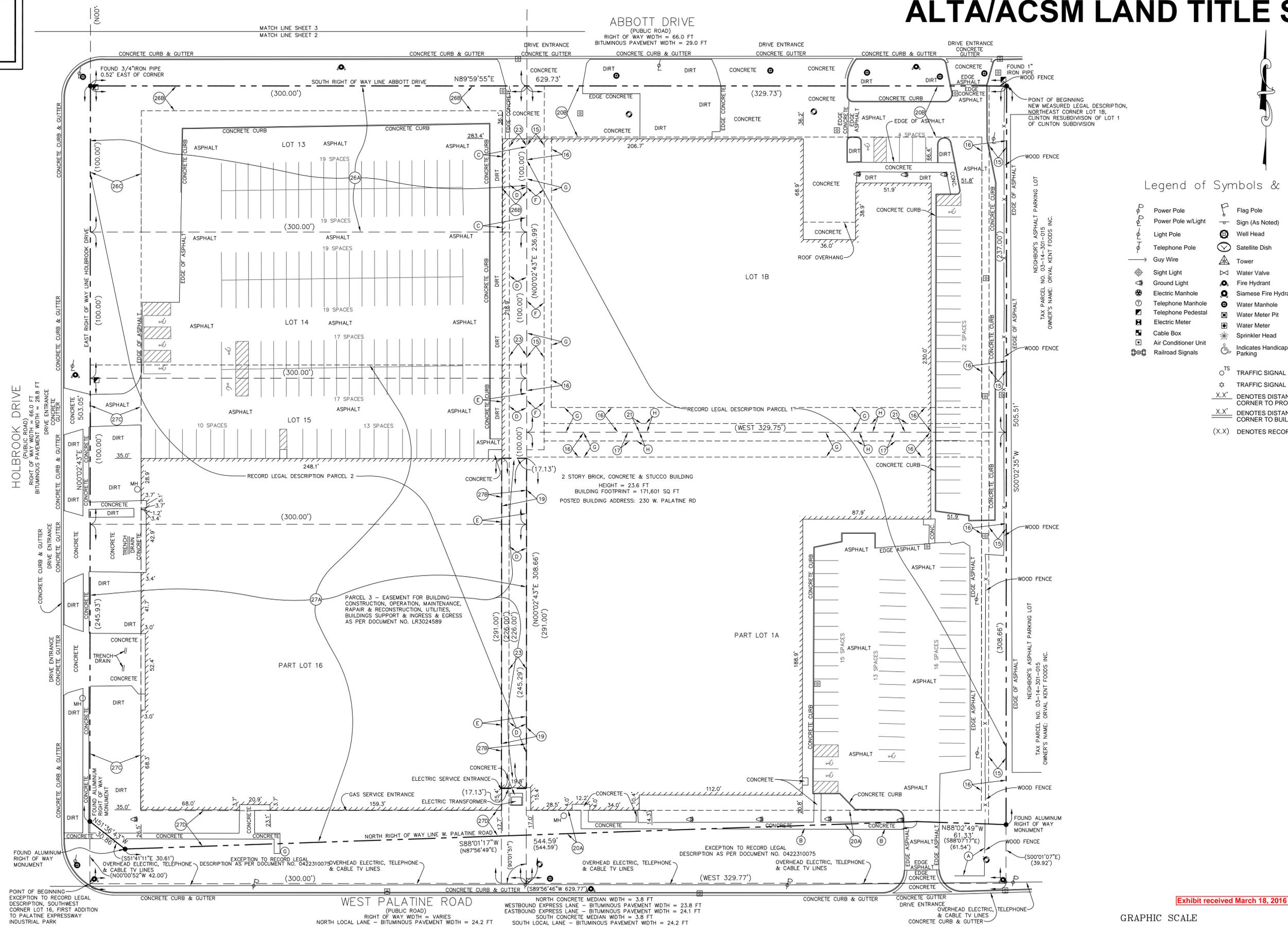
PREPARED FOR:
SCHOENBERG FINKEL NEWMAN & ROSENBERG LLC
 222 SOUTH RIVERSIDE PLAZA, SUITE 2100
 CHICAGO, ILLINOIS 60606

DRWN BY: VPS	REVISION 1:
APRVD BY: RFS	
DATE: 8-2-2012	REVISION 2:
SCALE: 1"=30'	
PROJECT ADDRESS: 230 West Palatine Rd	
PROJECT LOCATION: Wheeling, IL	
PROJECT NAME: Cano Packaging Corp.	
JOB NUMBER: 42070	

PREPARED BY:
Sarko Engineering Inc.
 ILLINOIS AND WISCONSIN PROFESSIONAL LAND SURVEYORS
 847 HIGHWAY 30, MT. HOREB, WI 53572
 PHONE: (608) 832-6297 FAX: (608) 832-6349
 EMAIL: RSARKO@MHCT.NET

Sarko Engineering Inc.
 ILLINOIS AND WISCONSIN
 Professional Land Surveyors
 847 Highway JG
 Mt. Horeb, WI 53572
 Phone: (608) 832-6297
 Fax: (608) 832-6349
 E-mail: rsarko@mhlc.net

ALTA/ACSM LAND TITLE SURVEY



Legend of Symbols & Abbreviations

- | | | | | | |
|--|----------------------|--|----------------------|--|-------------------------------|
| | Power Pole | | Flag Pole | | Storm Manhole |
| | Power Pole w/Light | | Sign (As Noted) | | Storm Inlet (Square) |
| | Light Pole | | Well Head | | Curb Storm Inlet |
| | Telephone Pole | | Satellite Dish | | Storm Pipe |
| | Guy Wire | | Tower | | Sanitary Sewer |
| | Sight Light | | Water Valve | | Sanitary Clean Out |
| | Ground Light | | Fire Hydrant | | Gas Valve |
| | Electric Manhole | | Siamese Fire Hydrant | | Gas Manhole |
| | Telephone Manhole | | Water Manhole | | Gas Meter |
| | Telephone Pedestal | | Water Meter Pit | | Gas Marker |
| | Electric Meter | | Water Meter | | Indicates Mutual Ownership |
| | Cable Box | | Sprinkler Head | | Indicates Handicapped Parking |
| | Air Conditioner Unit | | Tree (As Noted) | | |
| | Railroad Signals | | | | |
- TS TRAFFIC SIGNAL MANHOLE
 ☆ TRAFFIC SIGNAL LIGHTPOLE
 X.X DENOTES DISTANCE FROM BUILDING CORNER TO PROPERTY LINE
 X.X DENOTES DISTANCE FROM BUILDING CORNER TO BUILDING SIDELINE
 (X.X) DENOTES RECORD DATA

WEST PALATINE ROAD
 (PUBLIC ROAD)
 RIGHT OF WAY WIDTH = VARIES
 NORTH LOCAL LANE - BITUMINOUS PAVEMENT WIDTH = 24.2 FT
 SOUTH LOCAL LANE - BITUMINOUS PAVEMENT WIDTH = 24.2 FT

ABBOTT DRIVE
 (PUBLIC ROAD)
 RIGHT OF WAY WIDTH = 66.0 FT
 BITUMINOUS PAVEMENT WIDTH = 29.0 FT

HOLBROOK DRIVE
 (PUBLIC ROAD)
 RIGHT OF WAY WIDTH = 66.0 FT
 BITUMINOUS PAVEMENT WIDTH = 28.8 FT

2 STORY BRICK, CONCRETE & STUCCO BUILDING
 HEIGHT = 23.6 FT
 BUILDING FOOTPRINT = 171,601 SQ FT
 POSTED BUILDING ADDRESS: 230 W. PALATINE RD

PARCEL 3 - EASEMENT FOR BUILDING CONSTRUCTION, OPERATION, MAINTENANCE, REPAIR & RECONSTRUCTION, UTILITIES, BUILDINGS SUPPORT & INGRESS & EGRESS AS PER DOCUMENT NO. LR3024589

EXCEPTION TO RECORD LEGAL DESCRIPTION AS PER DOCUMENT NO. 0422310075 OVERHEAD ELECTRIC, TELEPHONE & CABLE TV LINES

EXCEPTION TO RECORD LEGAL DESCRIPTION AS PER DOCUMENT NO. 0422310075 OVERHEAD ELECTRIC, TELEPHONE & CABLE TV LINES

EXCEPTION TO RECORD LEGAL DESCRIPTION AS PER DOCUMENT NO. 0422310075 OVERHEAD ELECTRIC, TELEPHONE & CABLE TV LINES

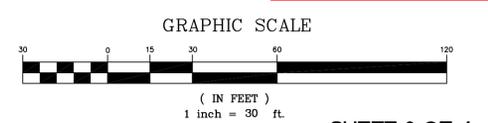


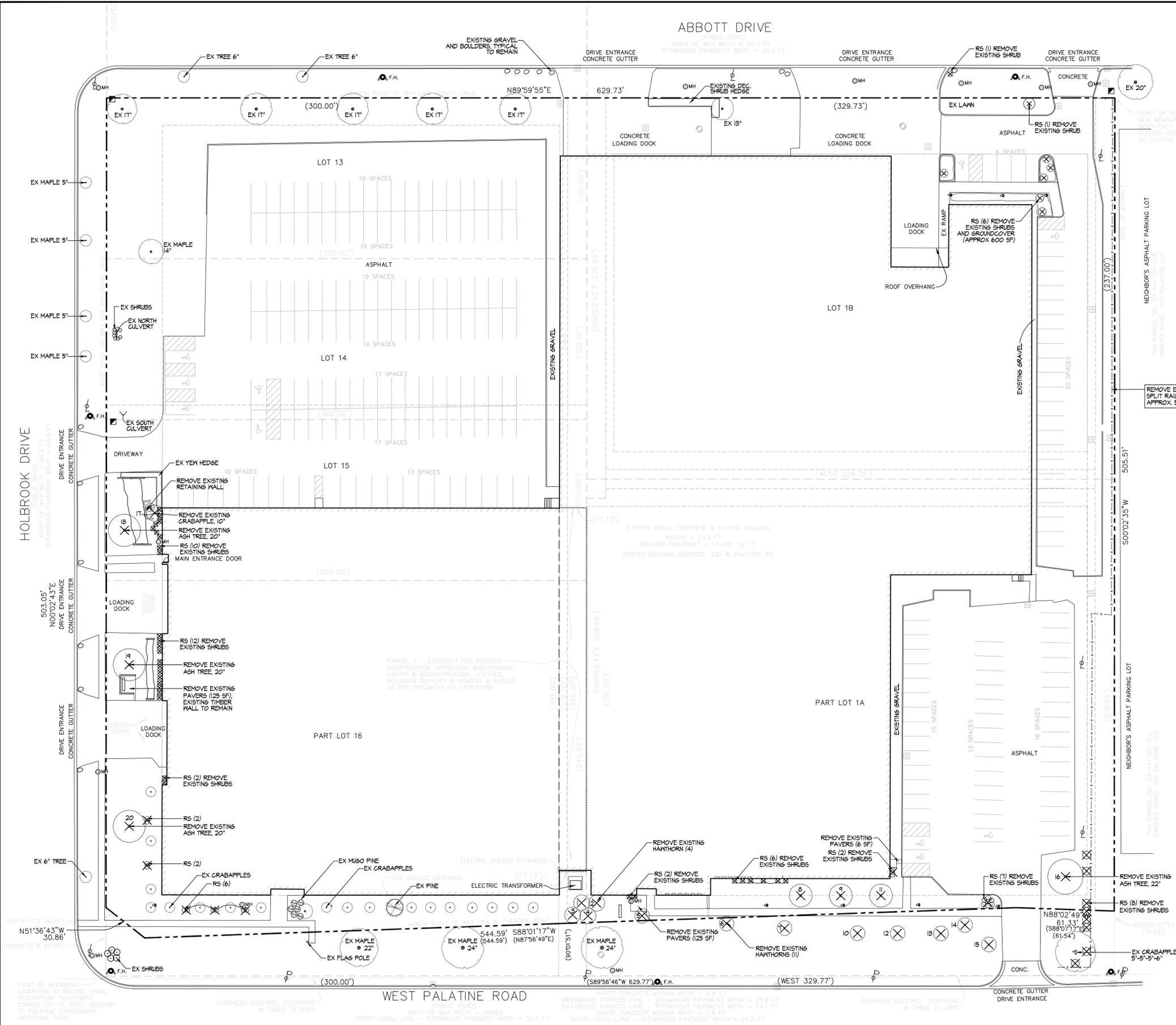
Exhibit received March 18, 2016

PREPARED FOR:
SCHOENBERG FINKEL NEWMAN & ROSENBERG LLC
 222 SOUTH RIVERSIDE PLAZA, SUITE 2100
 CHICAGO, ILLINOIS 60606

PREPARED BY:
Sarko Engineering Inc.
 ILLINOIS AND WISCONSIN PROFESSIONAL LAND SURVEYORS
 847 HIGHWAY JG, MT. HOREB, WI 53572
 PHONE: (608) 832-6297 FAX: (608) 832-6349
 E-MAIL: RSARKO@MHLC.NET

DRWN BY: VPS
 APRVD BY: RFS
 DATE: 8-2-2012
 SCALE: 1"=30'
 PROJECT ADDRESS: 230 West Palatine Rd
 PROJECT LOCATION: Wheeling, IL
 PROJECT NAME: Cano Packaging Corp.
 JOB NUMBER: 42070

REVISION 1:
 REVISION 2:



GENERAL NOTES:

- The following notes apply to all contractors:
- In general, contractor shall become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
 - Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
 - Contractor shall follow and conform to the city of Wheeling, IL building codes.
 - Job site safety and means and methods of construction are the responsibility of the Contractor.
 - Contractor shall excavate and dispose of excavated materials off site.
 - Contractor shall be responsible for any damage to house or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
 - Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
 - Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
 - Determine and verify exact locations of all underground utilities in the field before work begins. Call JULIE 1-800-892-0123 (48 hours) before you dig, excluding Saturdays, Sundays, and holidays.
 - Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
 - Landscape Architect not responsible for installation permits unless otherwise noted.
 - Landscape Contractor to stake all property line corners before work begins.

Removal Notes

- Tree Removal.** Within the outlined project area, all trees listed will be removed by use of suitable equipment.
- Protection of property.** Contractor shall take all necessary precautions to eliminate damage to adjacent trees and shrubs, lawns, curbs, walks, and other site fixtures. Sidewalks, curbs, streets irrigation heads and manhole structures shall always be protected from the impact of falling wood by use of the tree or limb ground supports. Ropes or other mechanical devices shall be used to lower all limbs of sufficient size that may cause damage to other trees or surrounding public or private property.
- Site Cleanup.** Contractor shall clean up the site and remove and dispose of all debris at the end of each day's operation. Site cleanup shall include removal of sawdust, small twigs, chips, leaves, trunks and limbs from the street, curb, parkway, sidewalk, private lawns and driveways with appropriate tools for the job.
- Removal of stumps.** Contractor shall remove all tree stumps and buttress roots to a point twelve inches (12") below the adjacent ground level. Additionally, contractor shall remove sufficient subsurface roots so as may be necessary to eliminate "humps" in the lawn area adjacent to the stump. The area then shall be restored with topsoil to the level of the adjoining grade and seeded unless otherwise specified.

Tree Protection Notes:

- All existing trees to remain shall be protected during any re-paving or heavy construction on the building.
- Temporary barriers necessary for the preservation of the existing plant materials as approved by the Department of Building and Zoning shall be installed prior to the issuance of any land development permit.
- Wooden lath snow fencing, brightly colored plastic construction fencing or other alternative barrier approved by the Commissioner of Building and Zoning shall be installed at the periphery of the tree's drip line or beyond. The barrier shall be a minimum of forty-eight (48) inches in height and must be securely anchored to fence posts a minimum distance of five (5) feet on center.
- Arborist to root prune at protection fence line at time of fence installation where proposed grading or hardscape will damage or interfere with root pruning.
- Grading and construction equipment is prohibited from encroaching beyond the tree protection fenced area.
- Crushed limestone or any other material which may be detrimental to trees shall not be discarded or placed within the drip line of any tree nor shall material be located at an elevation to which would contribute runoff of such material toward tree(s).
- Materials or vehicles shall not be stored, driven or parked within the drip line of any trees.
- Utility lines shall be augured to prevent damage to tree root systems when an underground utility line is to be located within five (5) feet of the trunk of a tree designated for preservation. Utility lines located between five (5) feet from trunk to drip line shall be root pruned (see root pruning detail, this sheet).
- Trees to be preserved which have been subjected to activity within the drip line should be selectively pruned or thinned ten (10) percent by an arborist or tree surgeon skilled at the selective thinning procedure. All dead wood shall be removed and ongoing soil care maintenance should be established by a registered arborist.
- Tree trunks and branches shall be protected when construction must occur within a tree drip line.

REMOVAL LIST:

Note: Trees have been numbered on the plan for communication but they are not tagged in the field.

Tree #	Description / Botanic Name	Common Name	Qty	Size	Condition	Reason for Removal:
1	Crataegus	Hawthorn	1	8"	2	Poor form, condition
2	Crataegus	Hawthorn	1	8"	2	Poor form, condition
3	Crataegus	Hawthorn	1	8"	2	Poor form, condition
4	Crataegus	Hawthorn	1	8"	2	Poor form, condition
5	Crataegus	Hawthorn	1	8"	2	Poor form, condition
6	Crataegus	Hawthorn	1	8"	2	Poor form, condition
7	Crataegus	Hawthorn	1	8"	2	Poor form, condition
8	Crataegus	Hawthorn	1	8"	2	Poor form, condition
9	Crataegus	Hawthorn	1	8"	2	Poor form, condition
10	Crataegus	Hawthorn	1	8"	2	Poor form, condition
11	Crataegus	Hawthorn	1	8"	2	Poor form, condition
12	Crataegus	Hawthorn	1	8"	2	Poor form, condition
13	Crataegus	Hawthorn	1	8"	2	Poor form, condition
14	Crataegus	Hawthorn	1	8"	2	Poor form, condition
15	Crataegus	Hawthorn	1	8"	2	Poor form, condition
16	Fraxinus	Ash	1	22"	1	Emerald Ash Borer (EAB), poor condition
Shrubs (Varies)	(Varies)	(Varies)	31	(varies)	1-2	Poor form, condition
Misc.	Paver Patio	-	-	125 sf	-	Poor condition

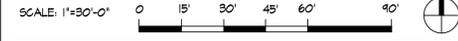
Tree #	Description / Botanic Name	Common Name	Qty	Size	Condition	Reason for Removal:
17	Malus	Crabapple	1	12"	1	Poor form, condition
18	Fraxinus	Ash	1	20"	1	Emerald Ash Borer (EAB), poor condition
19	Fraxinus	Ash	1	20"	1	Emerald Ash Borer (EAB), poor condition
20	Fraxinus	Ash	1	20"	1	Emerald Ash Borer (EAB), poor condition
Shrubs (Varies)	(Varies)	(Varies)	28	(varies)	1-2	Poor form, condition
Misc.	Retaining Wall	-	-	70 lf	-	Falling over
Misc.	Paver Patio	-	-	125 sf	-	Poor condition

Tree #	Description / Botanic Name	Common Name	Qty	Size	Condition	Reason for Removal:
Shrubs (Varies)	(Varies)	(Varies)	8	(varies)	1-2	Poor form, condition
Groundcvr (Varies)	(Varies)	(Varies)	600 sf	(varies)	1-2	Poor form, condition

Tree #	Description / Botanic Name	Common Name	Qty	Size	Condition	Reason for Removal:
Misc.	Split Rail Fence	-	-	550 lf	-	Poor condition
Misc.	Pavers at entrance	-	-	6 sf	-	Poor condition

Rating	Rate	Condition
1	Poor-Dead	
2	Fair-Poor	
3	Fair	
4	Good	
5	Excellent	

LANDSCAPE REMOVAL PLAN



SEE SHEET: L-1.0 FOR LANDSCAPE PLAN AND NOTES
L-2.0 FOR DETAILS AND FULL PLANT LIST

CLIENT NAME:
Michael Martini
Dynamax, Inc.
1535 Abbott Drive
Wheeling, IL 60090

PAMELA SELF
Landscape Architecture
One Anne Court
Hawthorn Woods, IL 60047
Ph: 847.438.4922

LICENSE # 157.000683
STAMP:



ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

DYNAMAX, INC.
Landscape Plan
230 West Palatine Rd
Wheeling, IL 60090

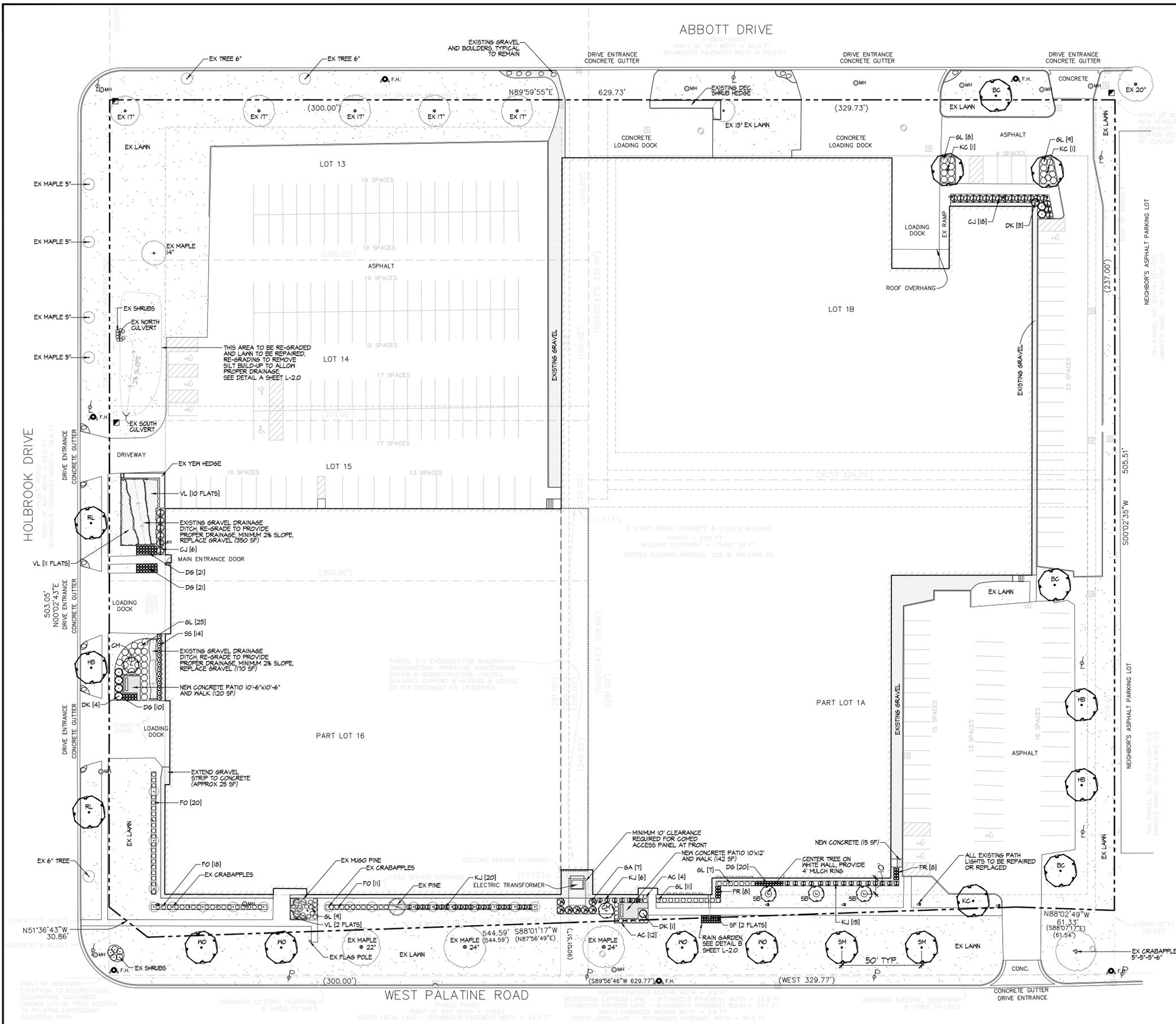
ISSUANCE No.	Date	Description	1/28/16
1		VILLAGE SUBMITTAL	

Design by: JRA
Checked by: DKS, JRA
Start date: 1/28/2016
Project no.:

REMOVAL PLAN AND NOTES

R01.0

Exhibit received March 18, 2016



GENERAL NOTES:

- The following notes apply to all contractors:
- In general, contractor should become familiar with the site and with scope of work prior to the submission of bid proposal and should notify Landscape Architect (LA) and/or owner of any discrepancies between the drawings and existing site conditions.
 - Bid Proposal shall show unit prices and quantities for all items shown on this drawing.
 - Contractor shall follow and conform to the city of Wheeling, IL building codes.
 - Job site safety and means and methods of construction are the responsibility of the Contractor.
 - Contractor shall excavate and dispose of excavated materials off site.
 - Contractor shall be responsible for any damage to house or site as a result of executing the work which is part of this contract or additional work which may be added to this contract at a later date.
 - Site shall be kept clean at all times and shall be thoroughly cleaned at the end of each working day.
 - Driveways shall be unobstructed at all times and consideration for the neighboring properties maintained.
 - Determine and verify exact locations of all underground utilities in the field before work begins. Call JULIE 1-800-892-0123 (48 hours) before you dig, excluding Saturdays, Sundays, and holidays.
 - Plants and other materials are quantified and summarized for the convenience of the owner and jurisdictional agencies only. Confirm and install sufficient quantities to complete the work as drawn.
 - Landscape Architect not responsible for installation permits unless otherwise noted.
 - Landscape Contractor to stake all property line corners before work begins.

Hardscape Notes

- Grading/Earthwork.** Landscape contractor to re-grade in areas specified on plan and repair the lawn (see landscape notes).
- Concrete patio and walks.** Concrete shall be 4000 PSI mix. Install new 4" thick concrete with light bushed finish, reinforced with 6"x6" welded wire mesh in center of slab. Pour concrete on 4" compacted #9 gravel, on compacted sub-grade. Contraction joints shall be provided at 5 foot intervals and shall be saw cut to a minimum depth of one-inch full width within 24 hours of concrete placement or tooled at the time of placement to the same depth. Where new concrete is adjacent to existing concrete, dowels need to be drilled into existing foundation/concrete and into new concrete, spacing 16" on center, depth in middle of concrete thickness. Pre-formed 3/4" fiber expansion joints shall be used where new sidewalk abuts all curb, buildings, poles and other structures. Include all necessary excavation and disposal of soil and removed concrete.
- Gravel Drainage Areas.** Contractor to remove all debris. Re-grade areas to allow for proper drainage. Compact and level existing soil. Place 3" gravel on filter fabric on compacted subgrade.

Landscape Notes

- Determine subsoil conditions and subsurface drainage requirements of all plant material.
- Topsoil.** Any topsoil used on site shall be fertile, pulverized, friable, natural loam, surface soil, free of subsoil, clay lumps, brush, weeds, stones larger than 1" in any dimension and other extraneous or toxic matter harmful to plant growth. Soil shall have acidity range of pH 5-7, not less than 3% humus as determined by loss on ignition of moisture free samples dried at 100 degrees centigrade, less than 60% of material passing VSS #100 sieve consists of clay by dried weights of material.
- Amend Existing Soil.** Assess existing soil conditions on site and recommend amendments to LA and owner. Amend existing soil in all planting beds with a minimum of soil conditioner. Rototill amendments into new planting beds.
- Plant Material.** The Landscape Architect reserves the right to personally select any or all nursery stock prior to digging. All plant material shall bear the same relationship to the new grade as they bore to the previous (nursery) grade. Comply with sizing and grading standards of the latest edition 'American Standard for Nursery Stock'. All plants are subject to inspection by the Landscape Architect at the job site or nursery.
- Plant Installation.** Set plant material in the planting pit to proper grade and alignment. Set plants upright, plumb, and face to give the best appearance or relationship to each other or adjacent structure. Do not fill around trunks or stems. Do not use frozen or muddy mixture for backfilling. Supply a minimum of 12" of soil mix on all sides of root balls for trees and shrubs unless otherwise noted. Plant groundcover and perennials and tamp down soil around pot so pot does not heave in frost. Water in before applying mulch. Do not cover foliage with mulch. Balled roots shall be protected from drying out and care taken to prevent the ball from freezing.
- Utility Locations.** Trees shall be installed a minimum of five feet horizontally from sanitary sewers, sanitary services, water mains, and from water services. Trees shall be installed a minimum of ten feet horizontally from utility structures and appurtenances, including but not limited to manholes, valve vaults, valve boxes, and fire hydrants.
- Mulch.** Provide 3" loose measure of premium hardwood bark mulch throughout all shrub planting areas and 2" leaf compost for perennial and groundcover beds. Hardwood mulch to be 6-month old, well-rotted, shredded, premium hardwood bark mulch, not larger than 4" in length and 1/2" in width, free of wood chips and sawdust.
- Water.** Free of substances harmful to plant growth. Hoses or other methods of transportation furnished by Contractor.
- Repair Disturbed Areas.** All disturbed areas shall be repaired and fine graded and top-dressed with a minimum 4" depth, rolled, pulverized topsoil. All excess soil not used in repair of disturbed areas shall be removed from site. Seed any areas that have been repaired.
- Lawn - Seed.** Supply and install new seed, Kentucky Bluegrass Blend on minimum 4" depth rolled, fine graded, pulverized, topsoil. Straw mat to cover seed.
- Bed Edge.** Spade edge where bed meets lawn if no edging is installed.
- Guarantee.** Upon completion of all landscape work, the LC shall notify the LA and owner for approval and acceptance. LC shall guarantee all work and plant material for a minimum of one year, after acceptance by the LA and owner, of completed landscape work.

PLANT KEY

Trees	Key	Botanic Name
	SM	Acer saccharum 'Morton'
	SB	Amelanchier grandiflora Autumn Brilliance
	HB	Celtis occidentalis
	CM	Cornus mas Golden Glory
	KC	Gymnocladus dioica
	WO	Quercus bicolor
	BC	Taxodium distichum
	RL	Tilia americana Redmond
Shrubs	FO	Forsythia nimbosa, Show Off Sugar Baby
	KJ	Juniperus chinensis 'Pfitzerana Kallay's Compacta'
	CJ	Juniperus horizontalis Plumosa Compacta Youngstown
	GL	Rhus aromatica Grow-Low
	AC	Ribes alpinum Green Mound
	SS	Sorbaria sorbifolia 'Sem'
	DK	Syringa meyeri Palibin
	GA	Thuja occidentalis Nigra
Grasses	FR	Calamagrostis acutiflora Karl Forester
	DG	Deschampsia cespitosa 'Goldtau'
Groundcover	SF	Acorus calamus
	VL	Liriope muscari Variegata

LANDSCAPE PLAN



SEE SHEET: R-1.0 FOR REMOVAL PLAN AND NOTES
L-2.0 FOR DETAILS AND FULL PLANT LIST

CLIENT NAME:
Michael Martini
Dynamax, Inc.
1535 Abbott Drive
Wheeling, IL 60090

PAMELA SELF
Landscape Architecture
One Anne Court
Hawthorn Woods, IL 60447
Ph: 847.438.4922

LICENSE # 157.000683
STAMP:



ARCHITECT:

CIVIL ENGINEER:

GENERAL CONTRACTOR:

DYNAMAX, INC.
Landscape Plan
230 West Palatine Rd
Wheeling, IL 60090

ISSUANCE	Date	Description
No.		
1	1/28/16	VILLAGE SUBMITTAL

Design by: JRA
Checked by: DKS, JRA
Drawn by: PKS
Start date: 1/28/2016
Project no.

LANDSCAPE PLAN AND NOTES

L1.0

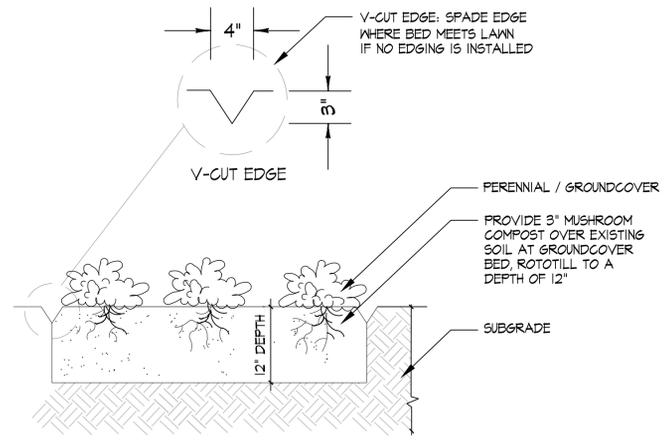
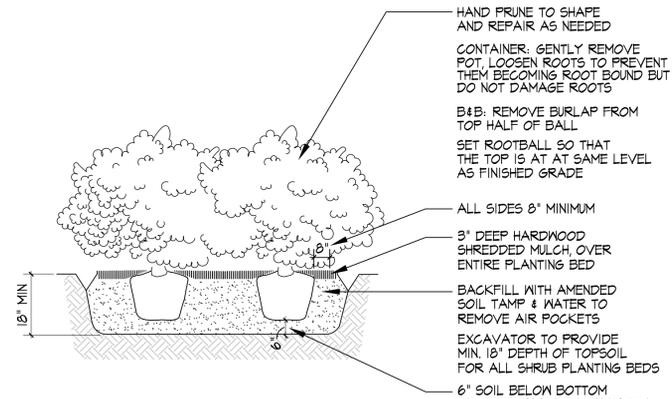
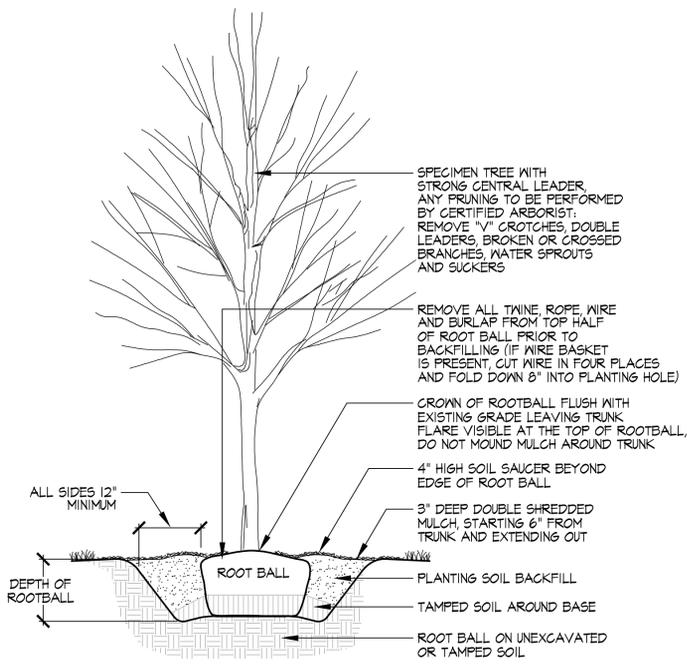
Exhibit received March 18, 2016



ISSUANCE No.	Description	Date
1	VILLAGE SUBMITTAL	1/28/16

Design by: JRA
Drawn by: DKS, JRA
Checked by: PKS
Start date: 1/28/2016
Project no.

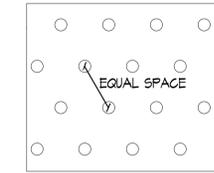
DETAILS AND PLANT LIST



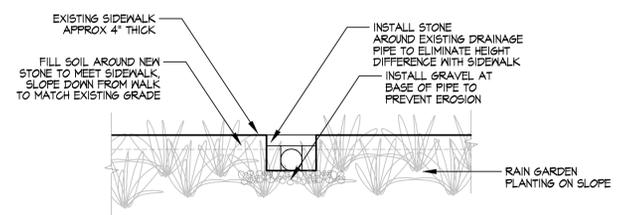
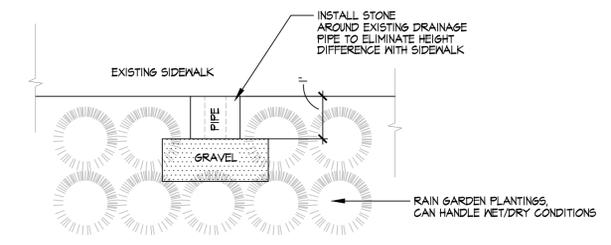
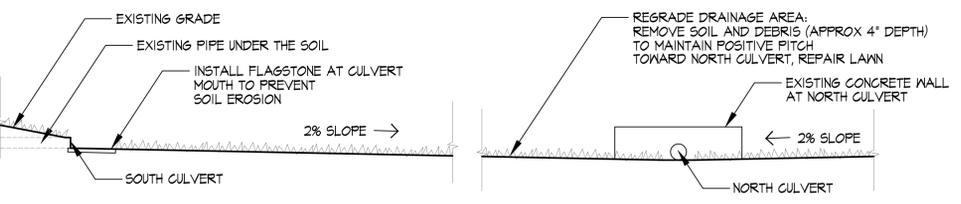
NOTE:
ALL GROUND COVER / PERENNIALS / ANNUAL FLOWERS SHALL BE PLANTED USING TRIANGULAR SPACING (STAGGERED ROWS). SEE PLANT LIST FOR SPECIFIC PLANT SPACING FOR EACH PLANT TYPE.

THE SPACING BETWEEN ADJACENT PLANTS WITH DIFFERENT ON CENTER SPACING REQUIREMENTS WILL BE THE SUM OF HALF THE ON CENTER DISTANCE FOR BOTH PLANTS.

TYPICAL SPACING:
GROUNDCOVERS: 6"-12" ON CENTER
PERENNIALS: 12"-18" ON CENTER
ANNUAL FLOWERS: 6"-12" ON CENTER



DETAIL - TRIANGULAR SPACING

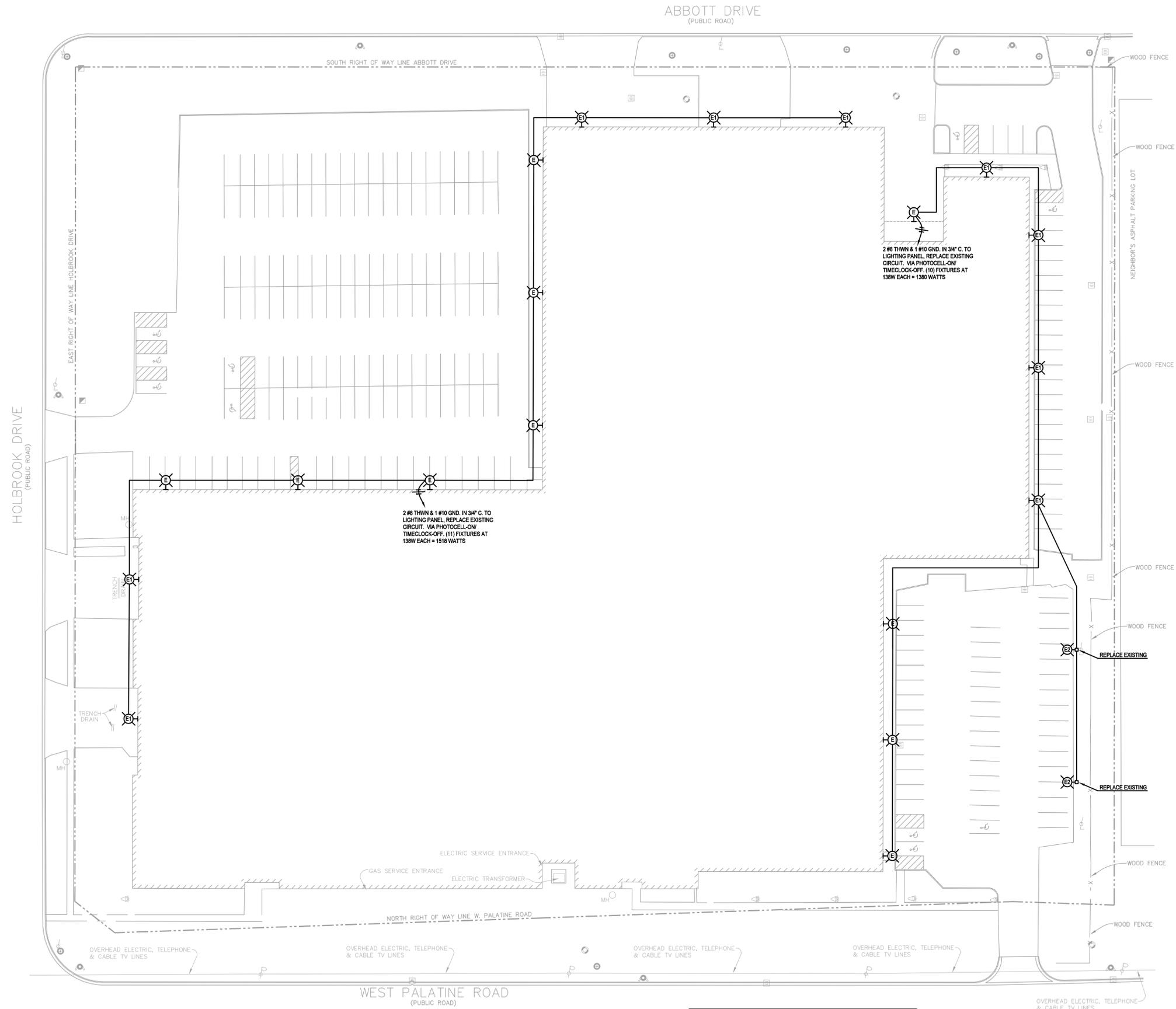


PLANT LIST

Trees	Key	Botanic Name	Common Name	Qty	Size	Remarks
	SM	Acer saccharum 'Morton'	Crescendo Sugar Maple	2	3" cal	Specimen, symmetrical, branched at 6' above ground
	SB	Amelanchier grandiflora Autumn Brilliance	Serviceberry Autumn Brilliance	3	6' ht	Specimen, multi-stem, min. 5-7 stems
	HB	Celtis occidentalis	Hackberry	3	3" cal	Specimen, symmetrical, branched at 6' above ground
	CM	Cornus mas Golden Glory	Golden Glory Dogwood	2	6' ht	Specimen, multi-stem, min. 5-7 stems
	KC	Gymnocladus dioica	Kentucky Coffee Tree	3	3" cal	Specimen, symmetrical, branched at 6' above ground
	WO	Quercus bicolor	Swamp White Oak	4	3" cal	Specimen, symmetrical, branched at 6' above ground
	BC	Taxodium distichum	Bald Cypress	3	3" cal	Specimen, symmetrical, branched at 6' above ground
	RL	Tilia americana Redmond	Redmond Linden	2	3" cal	Specimen, symmetrical, branched at 6' above ground
Shrubs	FO	Forsythia nimbus	Show Off Sugar Baby Forsythia	49	18"	Full branching to ground
	KJ	Juniperus chinensis 'Pfitzerana Kallay's Compacta'	Kallay Compact Pfitzer Juniper	41	24"	Specimen, full branching to ground
	CJ	Juniperus horizontalis Plumosa Compacta Youngstown	Youngstown Andorra Compact Juniper	24	18"	Specimen, full branching to ground
	GL	Rhus aromatica Grow-Low	Grow-low Sumac	67	18"	Full branching to ground
	AC	Ribes alpinum Green Mound	Green Mound Currant	16	18"	Full branching to ground, symmetrical
	SS	Sorbaria sorbifolia 'Sem'	Sem Ural False Spirea	14	36"	Full branching to ground
	DK	Syringa meyeri Palibin	Dwarf Korean Lilac	8	24"	Full branching to ground, Prune after flowers in spring
Grasses	GA	Thuja occidentalis Nigra	Dark Green Arborvitae	7	6' ht	Specimen, full branching to ground
	FR	Calamagrostis acutiflora Karl Forester	Karl Forester Feather Reed Grass	16	1 gal	Cut to ground in March/April
Groundcover	DG	Deschampsia cespitosa 'Goldtau'	Gold Dew Tufted Hair Grass	72	1 gal	Cut to ground in March/April
	SF	Acorus calamus	Sweet Flag	2 flats	12/flat	Plant 18" on center
	VL	Liriope muscari Variegata	Variegated Lilyturf	23 flats	10/flat	Plant 18" on center

SEE SHEET: R-1.0 FOR REMOVAL PLAN AND NOTES
L-1.0 FOR LANDSCAPE PLAN AND NOTES

Exhibit received March 18, 2016



NOTES:

- E.C. TO FURNISH, INSTALL AND WIRE TYPE 'E3' FIXTURE ABOVE EACH MAN DOOR EXIT. REUSE EXISTING CIRCUIT CURRENTLY FEEDING MAN DOOR LIGHTS. LIGHTING CONTROL TO BE PHOTOCELL-ON/OFF. FIXTURES TO BE PROVIDED WITH EMERGENCY BATTERY BACK-UP FOR EMERGENCY EGRESS LIGHTING.

ELECTRICAL SITE PLAN
SCALE: 1"=30'-0"

REVISIONS	
DATE	DESCRIPTION

PROJECT:
DYNOMAX
230 PALATINE ROAD
WHEELING, IL

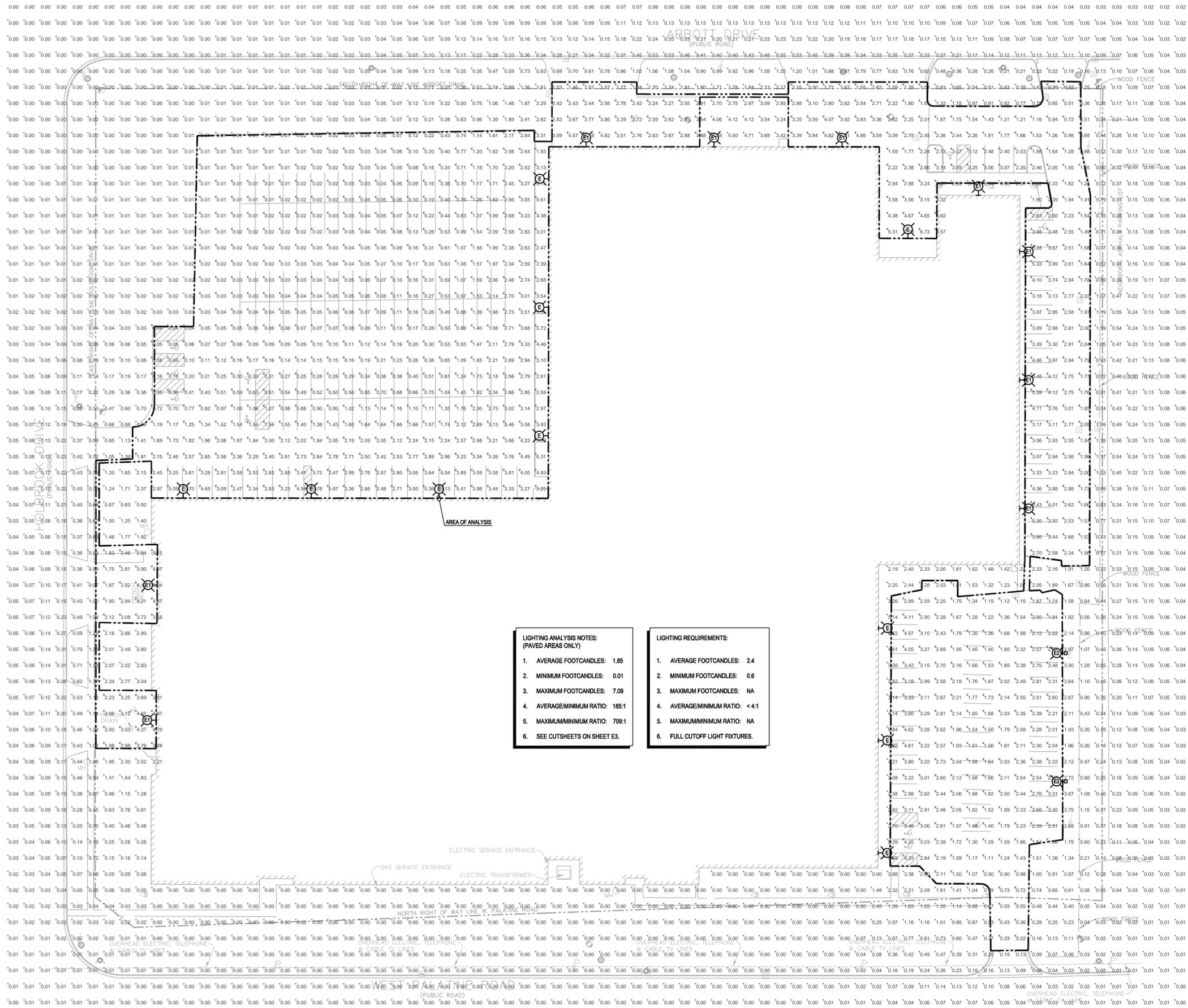
Power • Lighting • Systems • Controls
Kornacki and Associates, Inc.
Consulting Electrical Engineers
5420 S. Westridge Drive New Berlin, Wisconsin 53151 (262) 784-3323 Fax 784-5014

DATE ISSUED
03/16/16
PROJECT NO.
16035
PROJECT MANAGER
D.B.K.
DRAWN BY
S.M.B.
CHECKED BY
D.B.K.
APPROVED BY
D.B.K.

SHEET NO.
E1



Exhibit received March 18, 2016



- LIGHTING ANALYSIS NOTES:
(PAVED AREAS ONLY)**
1. AVERAGE FOOTCANDLES: 1.85
 2. MINIMUM FOOTCANDLES: 0.01
 3. MAXIMUM FOOTCANDLES: 7.09
 4. AVERAGE/MINIMUM RATIO: 185:1
 5. MAXIMUM/MINIMUM RATIO: 709:1
 6. SEE CUTSHEETS ON SHEET E3.

- LIGHTING REQUIREMENTS:**
1. AVERAGE FOOTCANDLES: 2.4
 2. MINIMUM FOOTCANDLES: 0.6
 3. MAXIMUM FOOTCANDLES: NA
 4. AVERAGE/MINIMUM RATIO: <4:1
 5. MAXIMUM/MINIMUM RATIO: NA
 6. FULL CUTOFF LIGHT FIXTURES.

PHOTOMETRIC SITE PLAN

SCALE: 1"=30'-0"



REVISIONS	
DATE	DESCRIPTION

PROJECT:
DYNAMAX
230 PALATINE ROAD
WHEELING, IL

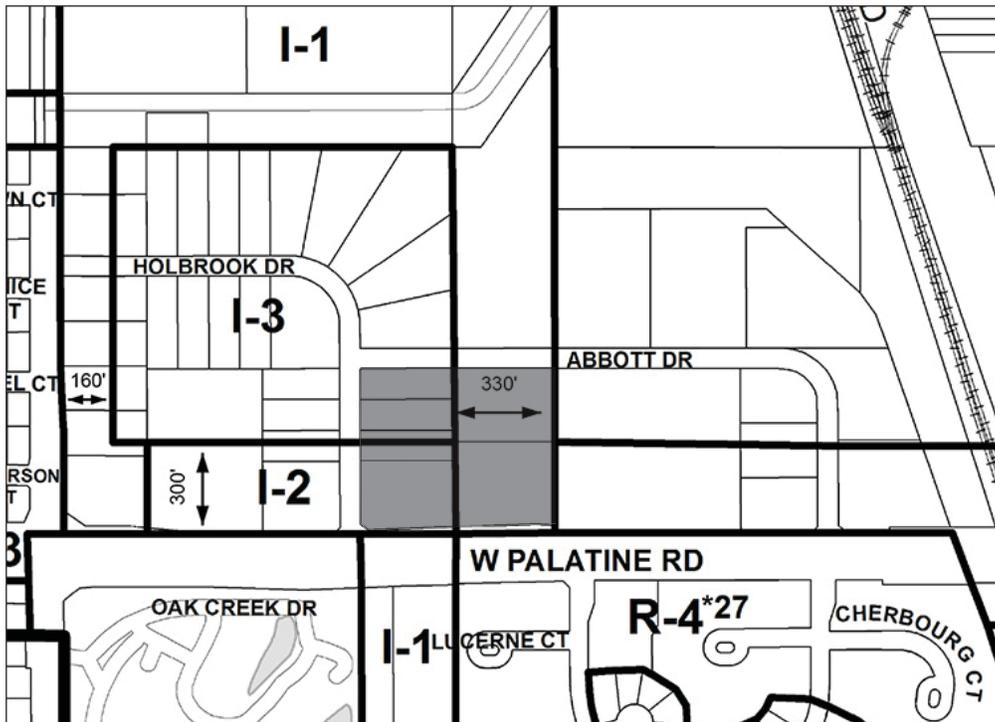
Power • Lighting • Systems • Controls
Kornacki and Associates, Inc.
Consulting Electrical Engineers
5420 S. Westridge Drive New Berlin, Wisconsin 53151 (262) 784-3323 Fax 784-5014

DATE ISSUED 03/16/16
PROJECT NO. 16035
PROJECT MANAGER D.B.K.
DRAWN BY S.M.B.
CHECKED BY D.B.K.
APPROVED BY D.B.K.

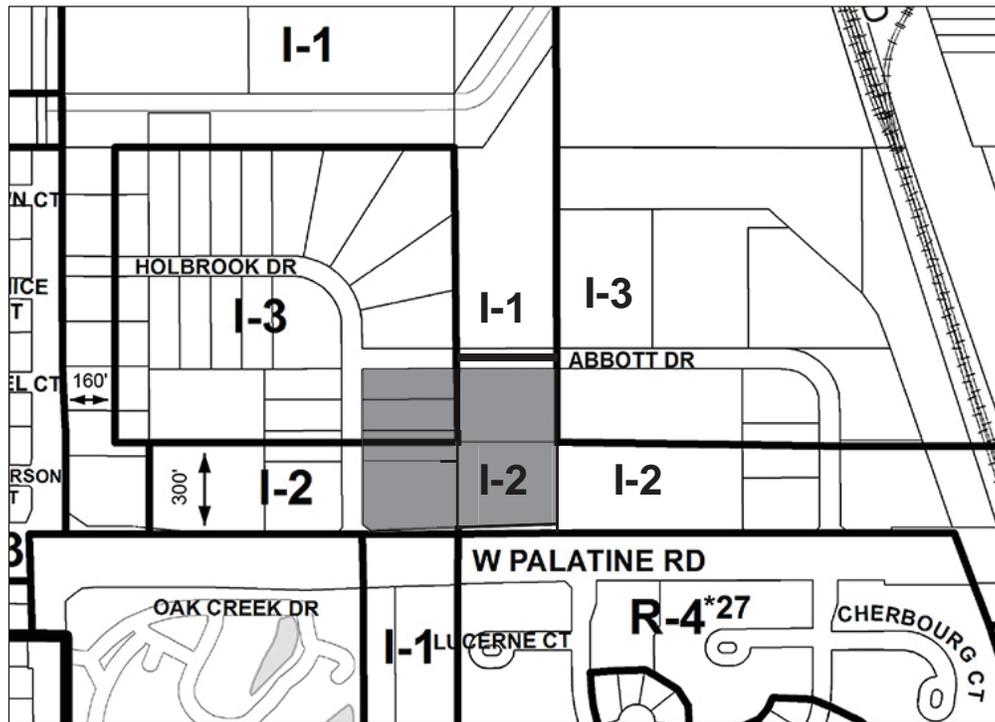
SHEET NO.
E2



Exhibit received March 18, 2016



EXISTING ZONING
(I-1, I-2, AND I-3)



PROPOSED ZONING
(REZONE I-1 PORTION TO I-2)

REQUEST FOR PLAN COMMISSION ACTION
STAFF PROJECT REVIEW

TO: Chairperson Ruffatto and Members of the
Wheeling Plan Commission

FROM: Andrew C. Jennings, Director of Community Development
Brooke A. Jones, Senior Planner

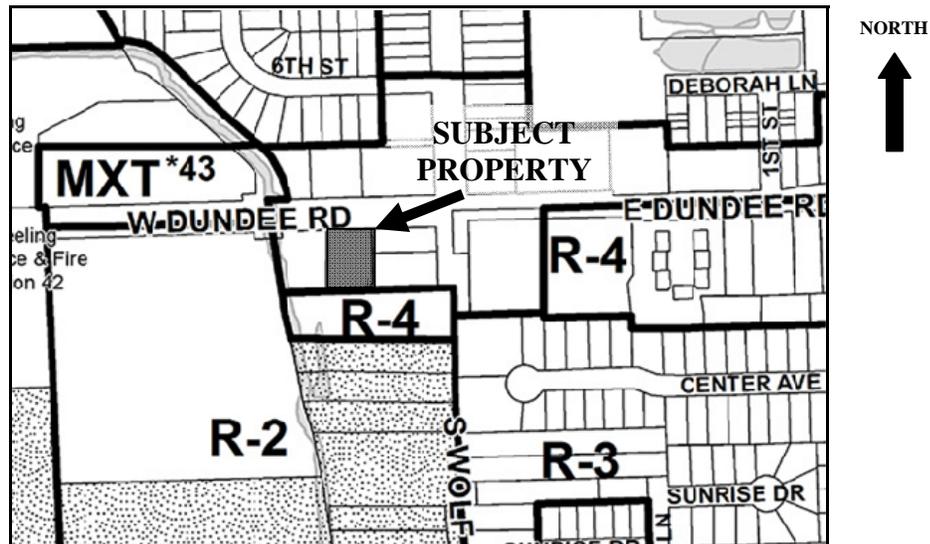
RE: **Docket No. 2016-9**
Medtec Healthcare
43 W. Dundee Road
Special Use-Site Plan Approval for Adult Day Service

DATE OF REPORT: April 21, 2016

DATE OF MEETING: April 28, 2016

PROJECT OVERVIEW: The petitioner is seeking special use-site plan approval to establish an adult day service in a vacant commercial property at 43 W. Dundee Road.

LOCATION MAP:



GENERAL PROPERTY INFORMATION

Applicant Name: Jay Chie, attorney

Property Owner: John Kim

Common Property Address: Located on the south side of Dundee, between Wolf Road and Buffalo Creek

Neighboring Property Land Use(s): North: Commercial

South: Multi-Family Residential
West: Commercial
East: Commercial

Comprehensive Plan Designation: Commercial
Property size: 26,722 sq. ft. (total lot)
4,500 sq. ft. (building)
Existing Use of Property: Vacant
Proposed Use of Property: Adult day service
Existing Property Zoning: B-3 General Commercial & Office District
Previous Zoning Action on Property:
1994-32 Ord. No. 2997, passed 11.07.1994, granted special use-site plan approval for a restaurant (expired).
2006-36 Ord. No. 4152, passed 12.11.2006, granted special use-site plan approval for a drive-thru bank (expired).

DESCRIPTION OF PROPOSAL

The petitioner is proposing to establish an adult day service facility under the Medtec Healthcare & Private Duty Corporation in a vacant commercial building that was previously used as a restaurant and approved (but never occupied) as a bank. The proposed facility requires a special use. The facility will provide social and health related services to elderly people. The petitioner indicates there will be approximately 10 to 15 clients each day. There will also be two full-time employees and two volunteers. The facility will be open Monday through Friday 8AM to 2PM.

SITE PLAN REVIEW

Scale of Site Plan: 1" = 20"

Proposed General Site Layout: No changes are proposed to the existing site layout.

Floor Plan: The floor plan consists of a large multi-purpose room, meeting rooms, offices, storage and toilets. No kitchen is proposed. Based upon the lack of kitchen facilities, the Health Officer has added a condition of approval that "no food shall be served at this facility." The Plan Commission may wish to confirm the petitioner's understanding of this requirement.

Total Number of Parking Spaces: The site plan shows that there are 19 parking stalls located entirely on the subject property. There is also a row of nine parking spaces that straddles the eastern property line. There is no parking requirement in the parking table of the Zoning Code for adult day service. Therefore, the parking requirement is based upon the operations and is approved by the Plan Commission. The required parking for the most recently approved adult day service, Center for Seniors at 8900 Capitol Drive, was based upon the number of employees

and bus/van parking. Based upon the low number of expected clients and a maximum of four employees (including volunteers), it appears that 19 spaces will be adequate. In the response to the special use standards, the petitioner indicates buses will be used. The Plan Commission may wish to determine if (and where) buses will be parked on site.

Bicycle parking: No bicycle parking has been provided. The Code requires a minimum parking requirement of two. The Plan Commission may wish to discuss the requirement with the petitioner and determine an adequate location for the bicycle parking. Staff has added a condition of approval that parking for two bicycles shall be provided.

Site Lighting: No lighting plan has been provided. Staff has provided the approved lighting plan from the most recent special use approval, Docket No. 2006-36 (drive-through bank), which has since expired. Staff suggests that this plan should be attached to the special use-site plan approval for Docket No. 2016-9. A condition of approval has been added to address lighting.

Trash enclosure: According to the site plan, there is an existing trash enclosure at the southeast corner of the site.

Ownership: The subject property is owned by the applicant.

Sidewalks: There is an existing 5-foot sidewalk along the Dundee Road right-of-way.

LANDSCAPING PLAN REVIEW

Existing Landscaping to Remain: The landscape plan has identified the existing trees and shrubs on site. No changes are proposed. The existing lawn area in the front yard is in very poor condition with visible patches of asphalt. Staff suggests that the front lawn be improved with adequate soil and seed. The Plan Commission may wish to discuss the condition of the lawn with the petitioner. The Plan Commission may also wish to discuss other planting opportunities with the petitioner.

Landscape Irrigation: No information has been provided.

BUILDING APPEARANCE REVIEW

Elevation Plan Review: No modifications to the exterior of the building area proposed. The building appears in need of some maintenance, especially the rusted glass wall in the front yard and rusted rear door. The Plan Commission may wish to discuss such maintenance work with the petitioner.

SIGN PLAN REVIEW

Sign Location: An existing monument-style brick sign base appears in the front yard. No plan is provided for the sign. The Plan Commission may wish to discuss if the sign base will be reused or if it shall be removed.

STANDARDS FOR SPECIAL USE

Following are standards for special use with the petitioner's responses. (**Staff comments are in bold.**)

1. State why the Special Use is necessary for the public convenience at the proposed location. (Explain how the proposed use will benefit residents, the neighborhood or the community-at-large.)

“Medtec Healthcare and Private Duty is applying for a business license as a senior center/lounge. We believe that our senior center will benefit the elderly in the neighborhood and community. They will come to enjoy social/group activities such as line dancing, games, educational seminars, and group exercise. Above activities will benefit seniors physically and mentally.”

The proposed use will offer services for seniors throughout wheeling and nearby communities.

2. State how the special use will not alter the essential character of the area in which it is to be located. (Explain how the proposed special use is appropriate for the neighborhood or shopping center and how the overall character will not be affected by the special use.)

“Medtec Healthcare will not alter the essential character of the area in any ways. Our building was an existing building which was previously a bank. It’s a single building which can accommodate enough people and parking will be enough for people coming and going. Medtec senior center will be appropriate for the neighborhood and will not affect the nearby area.”

Provided the site and building maintenance issues have been addressed, the proposed use will be complementary to the adjacent commercial uses.

3. State how the location and size of the Special Use, the nature and intensity of the operation involved in or conducted in connection with it, the size of the site in relation to it, and the location of the site with respect to streets giving access to it, will be in harmony with and will not impede the normal, appropriate, and orderly development of the district in which it is to be located and the development of surrounding properties. (Explain how the proposed use will allow the surrounding area to develop appropriately. Is the use too large for the site? Will it be in a location on the lot that will cause conflicts with adjacent properties? Does the use create noise, odor, smoke, or light that will affect other properties?)

“The 43 W. Dundee building is an existing single building that is located where it would not interfere with traffic on Dundee Road. This building has its own parking stalls and is not adjacent to any properties. Our building will not create noise, odor, smoke or light. All activities will be held inside the building. The building space will be enough to accommodate people in and out on a daily basis. We will operation Monday-Friday 8am to 2pm.”

The proposed adult day service will operate in harmony with the developed parcels in the vicinity and will not impede additional development.

4. State how the location, nature and height of buildings, walls and fences, and the nature and extent of the landscaping on the site shall be such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings, or will not impair the value thereof. (Explain how the proposed use will not prevent development on adjacent properties. Will the proposed use have a negative impact on existing adjacent land uses?)

“The Medtec building existed when purchased, which met the code previously. The nature of the building including height, walls/fences does not hinder or discourage adjacent land or buildings in any way. The building does not have any negative impact on existing adjacent land uses whatsoever.”

The existing landscaping is tired and the lawn is in very poor condition. Some minor maintenance issues should also be addressed with the building. The Plan Commission should discuss options for improvement.

5. State how the parking areas will be of adequate size for the particular use, properly located, and suitably screened from adjoining residential uses, entrance and exit drives shall be laid out so as to prevent traffic hazards and nuisances, and the development will not cause traffic congestion. (Is adequate parking provided? Is parking area visible from adjacent homes? Are the entrance and exit drives designed for safe access to the site? Will the special use generate so much traffic as to cause congestion? Will visitors to the special use access the site through residential streets?)

“The 43 W. Dundee building has 50+ parking stalls which will be more than enough for our business purpose. Only 10-20 people the most are expected on a daily basis and the attendees are seniors and will most likely be picked up by our buses. Therefore, not a lot of parking spaces will be needed. Entrance and exit drives are clear to drivers and will not create traffic hazards and nuisances. Parking areas are visible from adjacent homes and safe access is available to the site. We will not cause congestion. The building is off of a big street so access to our site would not have any issues.”

The Plan Commission should discuss with the petitioner is buses will be parked on site.

6. State how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulation in that zone. (Other than the

special use listed in this application, the proposal must meet all other requirements of the Zoning Code. Note any other exceptions.)

“N/A”

The property has remained vacant for over 10 years. Without approval of the proposed special use, it will likely remain vacant.

STAFF REVIEW

Fire Department Review: The Fire Department has submitted comments dated 4.20.2016. Most comments will be addressed during permit review. At the Fire Department’s direction, staff has added a condition of approval to address the fire lane.

Engineering Division Review: The Engineering Division has reviewed the submittal and has no comments at this time.

Health Division Review: The Health Division has reviewed the plans and has found that they meet the Health Code. However, due to the lack of kitchen facilities, a condition of approval has been added that explicitly states “no food shall be served at this facility.”

Impact on Adjacent Uses: There is no significant impact anticipated on adjacent uses.

Staff Recommended Action: Staff recommends that the Plan Commission review the following list of items with the petitioner. If the petitioner is able to provide enough detail to address these issues, then staff suggests the Plan Commission recommend approval of the special use:

- Confirm with the petitioner that no food service will be provided;
- Determine if buses will be parked on site and if so, where;
- Determine where bicycle parking will be provided;
- Discuss the poor condition of the front lawn and determine if additional plantings shall be provided;
- Discuss the building maintenance issues that are visible on the exterior of the property; and
- Determine if the sign base will be reused or removed.

PROPOSED MOTION

If the Plan Commission approves of the requested special use for an adult day service, an appropriate motion would be to:

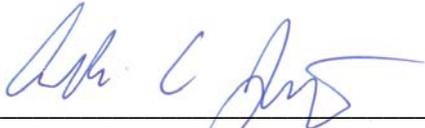
Recommend approval of Docket No. 2016-9 to grant special use approval for an adult day service in accordance with the following exhibits submitted March 24, 2016, by Medtec Healthcare, to be located at 43 W. Dundee Road, Wheeling, Illinois.

Wheeling Plan Commission
Meeting date: April 28, 2016
RE: Docket No. 2016-9

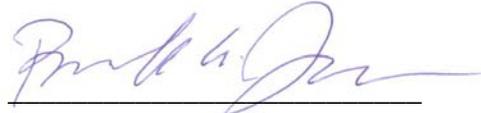
- Cover letter,
- Plat of survey,
- Landscape plan,
- Site plan, T1.0, and
- Floor plan, T2.1.

And with the following conditions of approval:

1. Parking for two bicycles shall be provided;
2. The site lighting shall comply with the photometric plan approved by Ordinance No. 4152;
3. The southeast corner of the building shall be posted as a "Fire Lane;"
4. No food shall be served at this facility; and
5. *And others to be determined at the hearing.*



Andrew C. Jennings, AICP
Director of Community Development



Brooke A. Jones
Senior Planner

- Attachments:**
- [Fire Department comments, dated 4.20.2016](#)
 - [Photos of existing conditions \(staff\)](#)
 - [Cover letter](#)
 - [Plat of survey](#)
 - [Landscape plan](#)
 - [Site plan, T1.0](#)
 - [Floor plan, T2.1](#)
 - [Photometric plan approved by Ordinance No. 4152](#)



MEMO – Fire Prevention Bureau

TO: Brooke Jones, Village Planner
FROM: Ronald S. Antor, Fire Inspector
CC: Andrew Jennings, Director of Community Development
Keith Maclsaac, Fire Chief
FPB File
DATE: April 20, 2016
SUBJECT: Proposed Senior Center – 43 West Dundee Road - Plans received for review by the Fire Department, April 7, 2016.

The Wheeling Fire Department has reviewed the submittals received related to the above referenced project and has the following comments:

Site Plan

1. The site plan reviewed includes an existing 1-story building with associated driveways, parking lots and surrounding landscaping features for the site.
2. Based on the documents reviewed there are no proposed changes to the site, including utilities (i.e. – water service and fire hydrants).
3. The east side of the building is posted as a “Fire Lane” due to the location of the building’s sprinkler system Fire Department Connection (FDC) at the south east corner of the building.

A Condition of Approval for the petitioner’s Special Use should be included to show the south east side of the building as a required and posted “Fire Lane”.

Medtec Healthcare & Private Duty Corporation Senior Center For – 43 West Dundee Road - A New 1-story senior activity facility

1. The existing building would be classified as an A-3 (Assembly) Use Group Occupancy as defined in the 2012 Edition of the International Building (IBC) and Fire Prevention Codes (IFC).

The building was originally classified as an A-2 (Assembly) Use Group Occupancy as a restaurant as was converted to a B (Business) Use Group Occupancy for use as a bank.

2. There building has recently obtained permits and remodeling was completed and the building is in compliance with the Fire Prevention for the petitioner’s proposed use.

At this time there are no other Fire Department comments related to the project as presented in the documents reviewed.

Medtec Healthcare – 43 W. Dundee Road
Docket No. 2016-9 (Special Use-Site Plan Approval of an Adult Day Service)
Plan Commission Meeting – April 28, 2016



Existing conditions of front of facility – looking southwest

Medtec Healthcare – 43 W. Dundee Road
Docket No. 2016-9 (Special Use-Site Plan Approval of an Adult Day Service)
Plan Commission Meeting – April 28, 2016



Existing conditions of front of facility – looking southeast

Medtec Healthcare – 43 W. Dundee Road
Docket No. 2016-9 (Special Use-Site Plan Approval of an Adult Day Service)
Plan Commission Meeting – April 28, 2016



Existing conditions of rear of facility – looking northeast

Medtec Healthcare – 43 W. Dundee Road
Docket No. 2016-9 (Special Use-Site Plan Approval of an Adult Day Service)
Plan Commission Meeting – April 28, 2016



Existing conditions of rear of facility – looking north

Law Offices Of
Jay Hwan Chie

2454 E. Dempster St., Suite 310, Des Plaines, IL 60016
Tel. (847) 257-0411 | Fax (847) 257-0313

Jay H. Chie
Katherine F. Lambrose
Paralegal: Janet Lee

March 24, 2016

To Whom It May Concern:

I am writing with regard to the proposed senior center use of the property located at 43 W. Dundee Rd. by Medtec Healthcare & Private Duty Corporation for which the special use application has been submitted. I am an attorney representing the owner of the property and business.

The senior center will be a source of pride for the Village of Wheeling because of its important benefits to local seniors. The center will provide the seniors and other community members with a gathering place to discuss ideas, meet friends, and promote social interaction between neighbors. This will be a place where seniors can participate in group social activities such as line dancing, playing games, taking educational seminars, and participating in group exercise. These activities will greatly benefit senior citizens of Wheeling both physically and mentally.

The center will operate Monday through Friday 8:00 a.m. to 2:00 p.m. It will employ approximately 2 people full time and will have 2 volunteers, to run the center and assist with the center's activities. At this time, the center expects approximately 10-15 seniors and community members each day, serving their physical, mental, and social needs and well beings.

I appreciate your time and consideration in this matter.

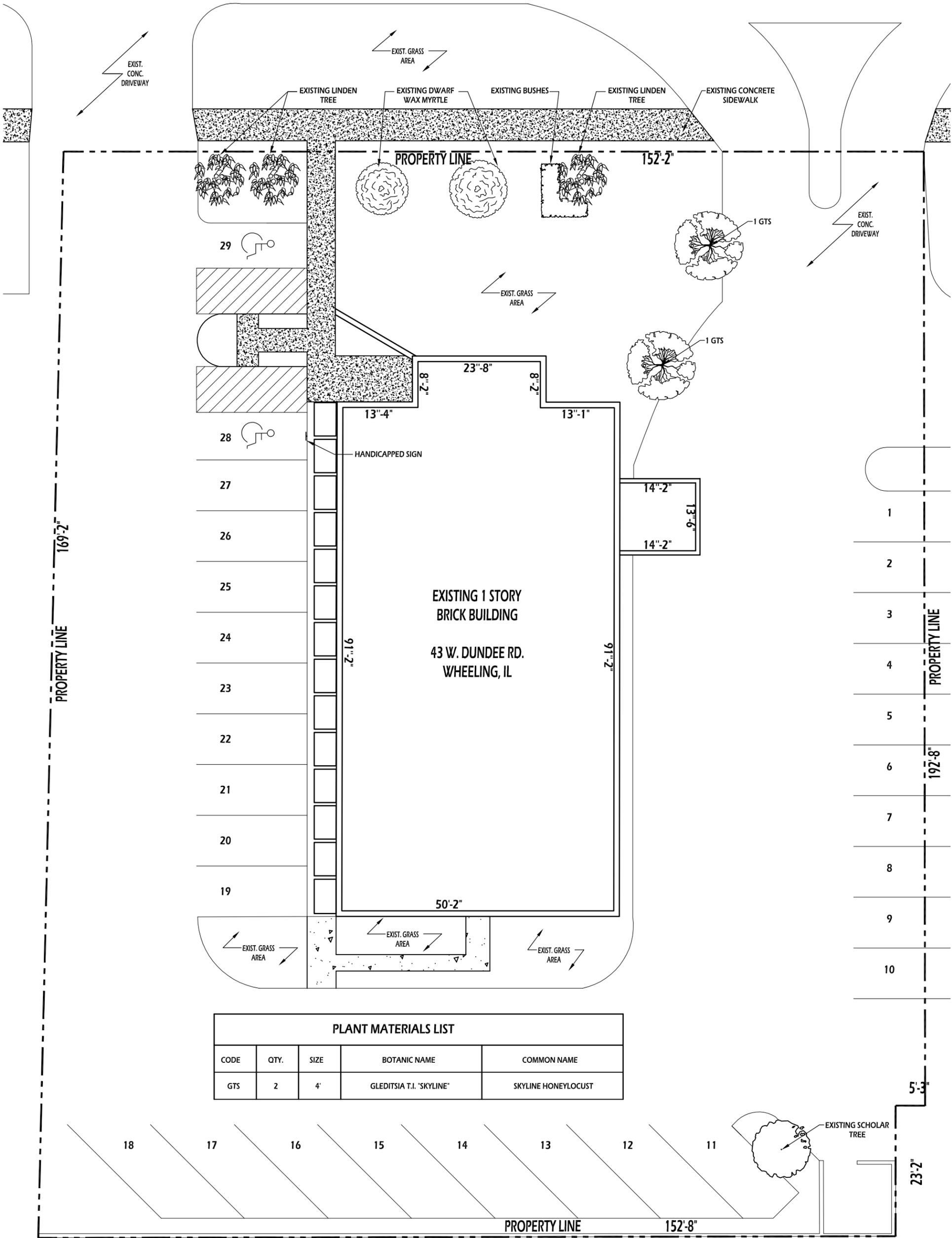
Very Truly Yours,



Katherine F. Lambrose

Exhibit received March 24, 2016

DUNDEE ROAD



PLANT MATERIALS LIST				
CODE	QTY.	SIZE	BOTANIC NAME	COMMON NAME
GTS	2	4'	GLEDITSIA T.I. "SKYLINE"	SKYLINE HONEYLOCUST

1
L-1

LANDSCAPE PLAN

1/16" = 1'-0"

N

Exhibit received March 24, 2016

LANDSCAPE PLAN
43 W. DUNDEE RD.
WHEELING, IL, 60090

MAR. 25, 2016

DC CORNER STONE
Architecture | Interior Design | Planning

Medtec Healthcare @ Wheeling (EXISTING BUILDING LAYOUT)

43 W. DUNDEE RD. WHEELING, IL 60090

Issue For REVISION
FEB 10, 2016

DRAWING INDEX

T1.0	TITLE, CODE ANALYSIS, VICINITY MAP, SITE PLAN, GENERAL NOTES
A2.1	EXISTING FLOOR PLAN, DOOR & ROOM FINISH SCHEDULE
A3.1	REFLECTED CEILING PLANS, FIXTURE SCHEDULE, NOTES,
P2.1	PLUMBING DIAGRAM, ADA

APPLICABLE CODES - WHEELING, ILLINOIS

- 2012 INTERNATIONAL RESIDENTIAL CODE
- 2012 INTERNATIONAL BUILDING CODE
- 2012 INTERNATIONAL MECHANICAL CODE
- 2012 INTERNATIONAL PLUMBING CODE & ILLINOIS STATE PLUMBING CODE, LATEST EDITION
- 2011 NATIONAL ELECTRICAL CODE (N.E.C.)
- 2012 INTERNATIONAL FUEL GAS CODE
- 2012 INTERNATIONAL FIRE CODE
- 2012 INTERNATIONAL ENERGY CONSERVATION CODE
- 2012 INTERNATIONAL PROPERTY MAINTENANCE CODE
- 1997 ILLINOIS ACCESSIBILITY CODE & ADA (FEDERAL ENFORCED)

BUILDING INFORMATION

BUILDING AREA : 4,500 SF
 CONSTRUCTION TYPE : III-B
 BUILDING USE : ASSEMBLY
 OCCUPANCY GROUP : A-3
 NUMBER OF EXITS : 3
 SPRINKLER NOTE : SPRINKLED

GENERAL NOTE

- THE AIA GENERAL CONDITIONS - AIA DOC. 201 1997 EDITION ARE INCORPORATED INTO THESE DOCUMENTS.
- DO NOT SCALE DRAWINGS. ACTUAL EXISTING DIMENSIONS OF ROOMS OR DIMENSIONS OF EXISTING OR NEW EQUIPMENT, SYSTEMS OR PARTS OF SYSTEMS SHALL GOVERN. FIELD VERIFICATION, COORDINATION AND ADJUSTMENT ARE A NECESSARY PART OF THIS PROJECT.
- ALL INTERIOR WALLS AND CEILING FINISHES SHALL COMPLY WITH CLASS I, F.S.R.
- ALL FLOOR FINISHES SHALL HAVE A F.S.R. NOT GREATER THAN 75
- CURTAIN FABRICS SHALL HAVE A SMOKE-DEVELOPED RATING OF 25 OR LESS IN ACCORDANCE WITH ASTM E 84
- CAULKING TO BE APPLIED BETWEEN ALL DISSIMILAR MATERIALS.
- ALL SHAFT WALLS TO BE PER UL DESIGN CRITERIA FOR ALL SPECIFIC OCCURRENCES.
- SMACNA STANDARDS AND DETAILS-CURRENT EDITION SHALL BE USED FOR ALL SPECIFIC ROOF PENETRATIONS, FLASHING DUCT ASSEMBLIES AND OTHER WHETHER SHOWN ON DRAWINGS OR NOT.
- ALL JOINTS, LONGITUDINAL AND TRANSVERSE SEAMS, AND CONNECTIONS IN DUCTWORK SECURELY FASTEN AND SEAL WITH WELDS, GASKETS, MASTICS (ADHESIVES), MASTIC-PLUS-EMBEDDED-FABRIC SYSTEMS OR TAPES.
- ALL COMMUNICATION AND LOW VOLTAGE CABLES PROPERLY SUPPORT.
- ALL WORKS IS TO BE PERFORMED BY A SPRINKLER CONTRACTOR LICENSED THROUGH THE OFFICE OF THE STATE FIRE MARSHAL.
- PROVIDE IN ACCORDANCE TO FIRE DEPARTMENT REQUIREMENT PORTABLE FIRE EXTINGUISHER(S) FOR THIS OCCUPANCY.
- ADD OF RELOCATED INITIATING DEVICES AND/OR INDICATING DEVICES TO MAINTAIN PROPER SPACING.

MECHANICAL

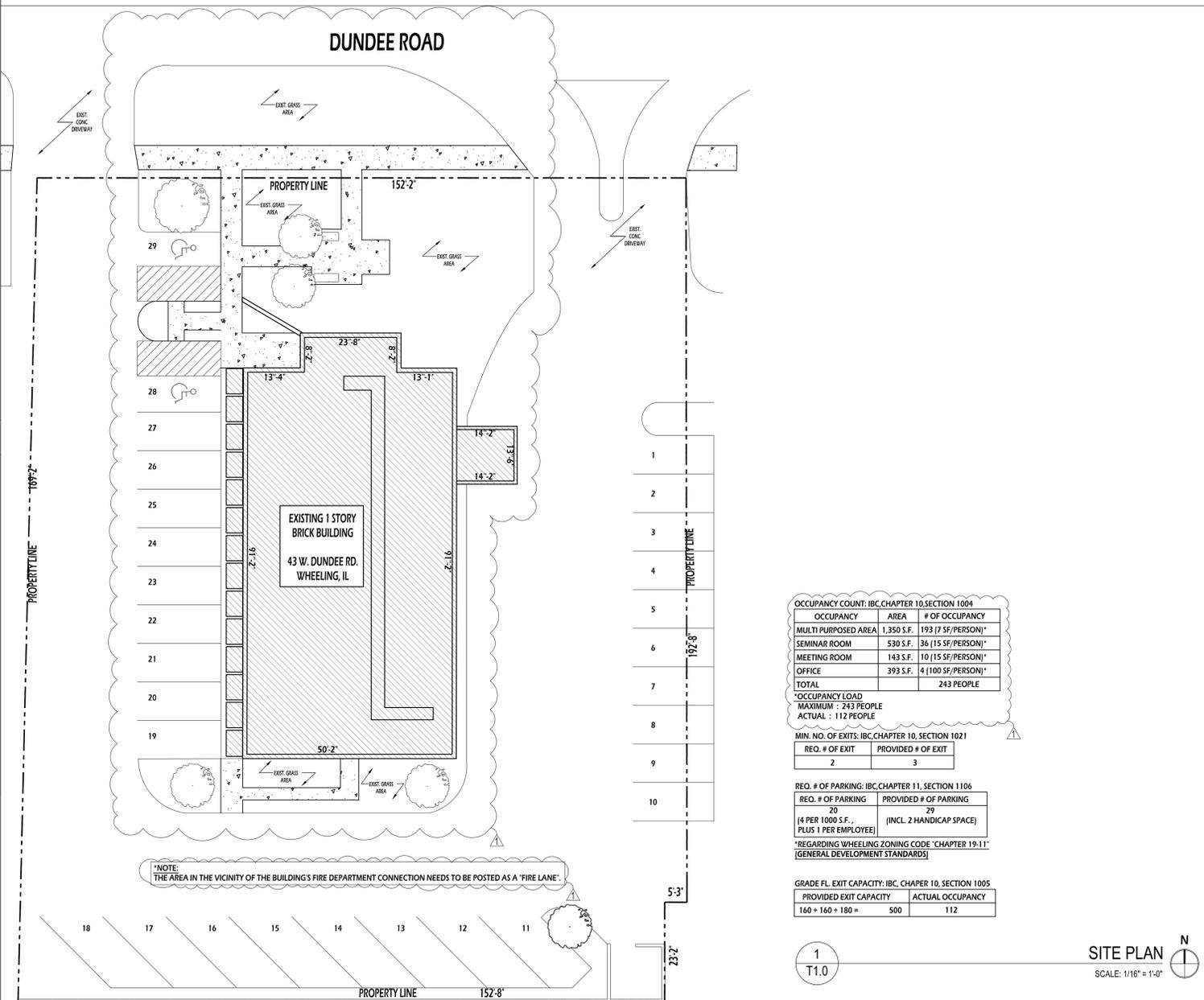
ELECTRICAL

PLUMBING

1. SEE P2.1 FOR SPECIFIC DISCIPLINE NOTES AND DESCRIPTIONS

FIRE PROTECTION

SITE PLAN



OCCUPANCY COUNT: IBC, CHAPTER 10, SECTION 1004

OCCUPANCY	AREA	# OF OCCUPANCY
MULTI PURPOSED AREA	1,350 S.F.	193 (7 SF/PERSON)*
SEMINAR ROOM	530 S.F.	36 (15 SF/PERSON)*
MEETING ROOM	143 S.F.	10 (15 SF/PERSON)*
OFFICE	393 S.F.	4 (100 SF/PERSON)*
TOTAL		243 PEOPLE

*OCCUPANCY LOAD
 MAXIMUM : 243 PEOPLE
 ACTUAL : 112 PEOPLE

MIN. NO. OF EXITS: IBC, CHAPTER 10, SECTION 1021

REQ. # OF EXIT	PROVIDED # OF EXIT
2	3

REQ. # OF PARKING: IBC, CHAPTER 11, SECTION 1106

REQ. # OF PARKING	PROVIDED # OF PARKING
20 (4 PER 1000 S.F., PLUS 1 PER EMPLOYEE)	29 (INCL 2 HANDICAP SPACE)

*REGARDING WHEELING ZONING CODE "CHAPTER 19-1" (GENERAL DEVELOPMENT STANDARDS)

GRADE FL. EXIT CAPACITY: IBC, CHAPTER 10, SECTION 1005

PROVIDED EXIT CAPACITY	ACTUAL OCCUPANCY
160 + 160 + 180 = 500	112



VICINITY MAP

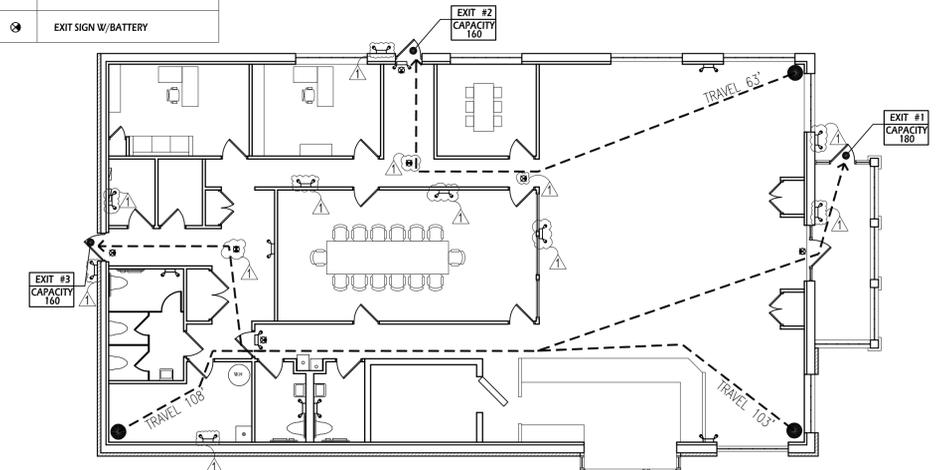


CAPACITY OF EXITS & FIRE SEPARATION (SCALE: 3/32\"/>

FIXTURE SCHEDULE

TAG	FIXTURE DESCRIPTION
Ⓜ	EMERGENCY LIGHT BATTERY PACK
Ⓢ	EXIT SIGN W/BATTERY

NOTE:
 *MAXIMUM TRAVEL DISTANCE PERMITTED : 250'-0"
 ACTUAL : 108'-0"
 *IBC, CHAPTER 10, 1016 EXIT ACCESS TRAVEL DISTANCE



CORNER STONE
 ARCHITECTURE
 INTERIOR DESIGN
 PLANNING
 1901 RAYMOND DR.
 SUITE 113
 NORTHBROOK, ILLINOIS 60062
 217.766.1843 PHONE

SANG inc
 ARCHITECTS
 DESIGNERS
 PLANNERS
 1901 RAYMOND DR. # 15
 NORTHBROOK, ILLINOIS 60062
 312.704.8800 PHONE
 312.704.8800 FAX

CERTIFICATION
 I hereby certify that these documents have been prepared and drawn under my supervision and to the best of my knowledge meet and comply with all building and life safety code requirements for: WHEELING, IL

EXPIRES: 11/30/2016

STATE OF ILLINOIS
 HUNSANG LEE
 001-020959
 LICENSED ARCHITECT

ASL 02/10/2016
 SIGNATURE DATE
 SEAL

**MEDTEC HEALTHCARE
 EXISTING BUILDING LAYOUT
 43 W. DUNDEE RD.
 WHEELING, IL 60090**

Exhibit received March 24, 2016

ISSUE RECORD:

ISSUE	DATE	REV.	DESCRIPTION
2	02/10/16		ISSUE FOR REVISION
1	01/20/16		ISSUE FOR OCCUPANCY REVIEW

SHEET TITLE:
 PROJECT DATA
 CODE INFO.,
 SITE PLAN, AND
 FIRE SEPARATION

PROJECT NUMBER: 16-001
DRAWN BY: SK
CHECKED BY: HL
SHEET NUMBER:
T1.0
DATE: 02/10/2016

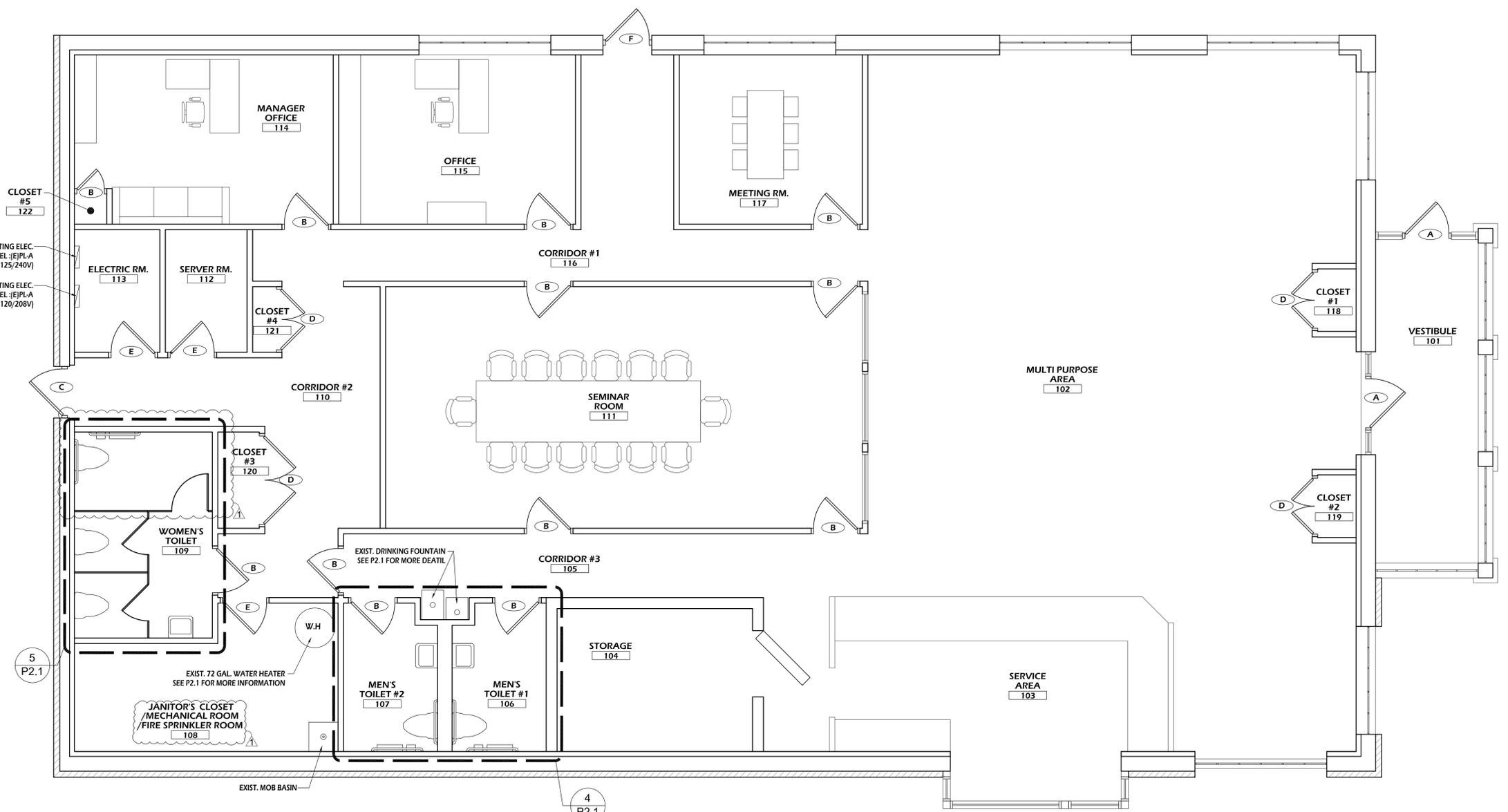
Exhibit received March 24, 2016

ISSUE RECORD:

ISSUE	DATE	REV.	DESCRIPTION
2	02/10/16		ISSUE FOR REVIEW
1	01/20/16		ISSUE FOR OCCUPANCY REVIEW

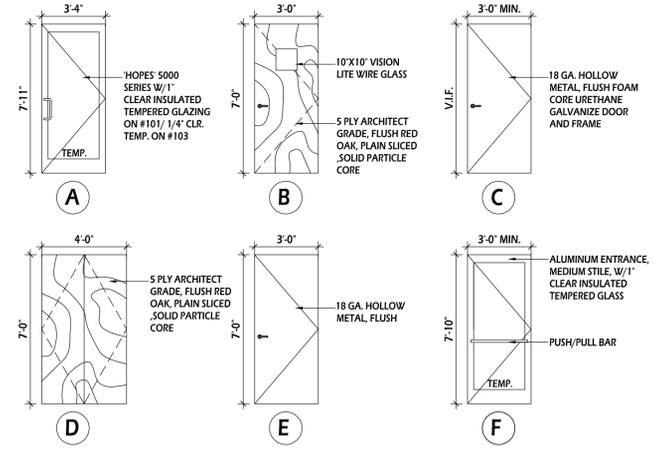
SHEET TITLE:
EXIST. FLOOR PLAN, DOOR TYPES & SCHEDULE

PROJECT NUMBER: 16-001
DRAWN BY: SK
CHECKED BY: HL
SHEET NUMBER:
A2.1
DATE: 02/10/2016



NOTES:
 1. ALL DOOR HARDWARE AT THE THREE EXITS FROM THE BUILDING SHALL BE PANIC OR FIRE EXIT HARDWARE IN ACCORDANCE WITH SECTION 1008.1.10 OF THE BUILDING CODE.
 2. THE USE OF THE OFFICES MAY REQUIRE ADDITIONAL EMERGENCY HARDWARE (STROBES/BEACONS).

DOOR TYPES



DOOR & FRAME SCHEDULE

DOOR NUM.	SIZE	DOOR		FRAME MATERIALS	LABEL
		MATERIALS	TYPE		
A	3'-4"x7'-11"x1-3/4"	STEEL	(A)	STEEL	-
B	3'-0"x7'-0"x1-3/4"	WOOD S.C.	(B)	H.M.	-
C	3'-0"x7'-0"x1-3/4"	H.M. F.C.	(C)	H.M.	-
D	4'-0"x7'-0"x1-3/4"	WOOD S.C.	(D)	H.M.	-
E	3'-0"x7'-0"x1-3/4"	H.M.	(E)	H.M.	-
F	3'-0"x7'-10"x1-3/4"	ALUMINUM	(F)	ALUMINUM	-
EX					

NOTES: ALL EXIST. DOOR TO COMPLY WITH CURRENT CODES

FLAME SPREAD RATING OF INTERIOR MATERIALS

MATERIALS	RATINGS	MATERIALS	RATINGS
QUARRY TILE	UNDER 20	GYPSUM BOARD	0 - 15
VINYL COMP. TILE	UNDER 20	PAINT	16
GLASS & ALUM.	UNDER 20	CARPET W/ PAD	20 - 25

NOTE: PROVIDE 10 LB. ABC PORTABLE FIRE EXTINGUISHER W/ WALL BRACKET IN ACCORDANCE WITH NFPA 10.

NOTES:
 1. ALL TRANSACTION COUNTERS, CASH-WRAP COUNTERS AND PASS-THRU COUNTERS SHALL MEET PORTION OF COUNTER TO BE SET AT 34" A.F.F., MAX. BY 36" IN LENGTH PER CBC CHAPTER 18-11-1101.3.1

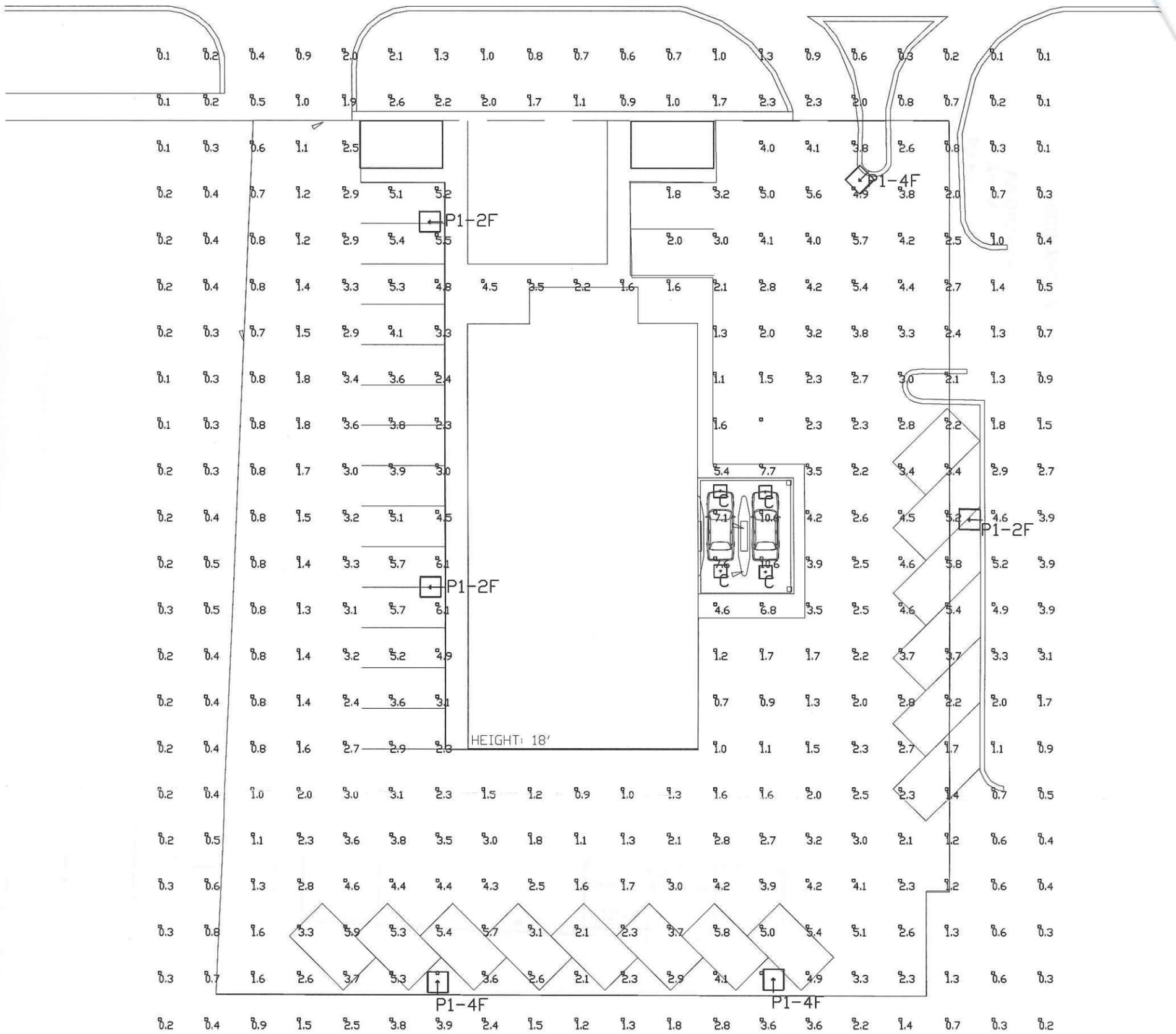
ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		BASE		WALL			CEILING			REMARKS
		MATERIALS		MATERIALS		MATERIALS			MATERIALS			
101	VESTIBULE											
102	MULTI PURPOSE AREA											
103	SERVICE AREA											
104	STORAGE											
105	CORRIDOR #3											
106	MEN'S TOILET #1											
107	MEN'S TOILET #2											
108	JANI./FIRE/MECH. RM.											
109	WOMEN'S TOILET											
110	CORRIDOR #2											
111	SEMINAR ROOM											
112	SERVER ROOM											
113	ELECTRIC ROOM											
114	MANAGER OFFICE											

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR		BASE		WALL			CEILING			REMARKS
		MATERIALS		MATERIALS		MATERIALS			MATERIALS			
115	OFFICE											
116	CORRIDOR #1											
117	MEETING ROOM											
118	CLOSET #1											
119	CLOSET #2											
120	CLOSET #3											
121	CLOSET #4											
122	CLOSET #5											

NOTES:
 1. ALL FLOOR IN CORRIDORS OR IN MEANS OF EGRESS ARE TO HAVE SLIP RESISTANT SURFACE
 2. INTERIOR WALL AND CEILING FINISHES SHALL HAVE A FRAME SPREAD RATING NOT TO EXCEED 75 AND A SMOKE DEVELOPED RATING NOT GREATER THAN 450.
 3. INSULATING MATERIAL, WHERE CONCEALED (ABOVE FINISHED CEILING), SHALL HAVE A FLAME SPREAD NOT TO EXCEED 75 AND A SMOKE DEVELOPED RATING NOT GREATER THAN 450.
 4. WALL PAINT COLOR IS SELECTED BY OWNER OR ARCHITECT.



Luminaire Schedule							
Project: Project_1							
Symbol	Qty	Label	Arrangement	Lumens	LLF	Description	Watts
☐	4	C	SINGLE	5500	0.729	CLI070M	132
☐	3	P1-2F	SINGLE	33000	0.810	AL3P-320-2F	368
☐	3	P1-4F	SINGLE	33000	0.729	AL3P-320-4FS	368

Statistical Area Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ATM and Drive-up	Illuminance	Fc	8.98	10.6	7.1	1.26	1.49
Parking	Illuminance	Fc	2.90	6.1	0.7	4.14	8.71

ATM and Drive-up
Illuminance Values(Fc)

Average = 8.98
Maximum = 10.6
Minimum = 7.1
Avg/Min Ratio = 1.26
Max/Min Ratio = 1.49

Parking
Illuminance Values(Fc)

Average = 2.90
Maximum = 6.1
Minimum = 0.7
Avg/Min Ratio = 4.14
Max/Min Ratio = 8.71

RECEIVED
DEC 4 2006
COMMUNITY DEVELOPMENT DEPT.

ATTACHMENT 3 OF 3 (PHOTOMETRIC PLAN)
TO ORD. #4152 PASSED 12-11-2006

DOCKET COPY (2006-36)

Docket No. 2006-36
43 W. DUNDEE ROAD
ACCESS BANK

1. CALL TO ORDER

Chairman Pro Tem Johnson called the meeting to order at 6:30 p.m. on Thursday, April 14, 2016.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present were Commissioners Dorband, Issakoo, Johnson, Sianas and Zangara. Commissioners Powers and Ruffatto were absent with prior notice. Also present were Brooke Jones, Senior Planner and Mallory Milluzzi, Village Attorney.

4. CHANGES TO THE AGENDA – None

5. CITIZEN CONCERNS AND COMMENTS

From the audience, Mrs. Judy Krause, 343 Marion Court, a Wheeling resident for 52 years came forward. Mrs. Krause expressed concern for the problems that are happening on her street. She referred to a house located across the street that had been made into a community rental. She has been told from an attorney and realtors that it was not permitted to turn a single family zoned house into a community rental. She explained it has been a nightmare and feels it is negatively impacting the value of her home and others. She mentioned that the owner of 344 Marion drove across their front lawn and urinates alongside the house. She does not know the number of people living in the house. They have contacted the Police and written letters to the Village. They are dedicated to their home and Village of Wheeling. She referred to 384 Marion Court and felt it was one of the nicest homes on the street and supported the proposed improvement. She referred to a home on Fletcher and mentioned the back of the house was collapsing. She expressed concern for the homeowner's safety as well as the concern for the people on her street. She hopes something can be done about the house located at 344 Marion Court. She does not want to give up her home. She doesn't think anyone should have to live the life they have been living the last few years. She appreciated the time and having the opportunity to speak. Ms. Jones agreed to speak with the Director of Community Development about the issues.

6. CONSENT ITEMS – None

7. ITEMS FOR REVIEW

- A) [Docket No. PC 16-5](#)

Weber Flavors
549 Palwaukee Drive
Minor Site Plan and Appearance Approval of Façade Modifications

Mr. Dale Direner, Apex Design Build was present. Mr. Direner referred to the existing cedar siding and explained they were proposing a deposit siding. They will remove and replace the existing siding. Color samples were provided. The proposed lower color and accent color are dark and the upper main color is oyster white. The blocks are about 2' x 5' with a small reveal. The panels are applied with a steel stud structure with plywood, tar paper and cedar siding. They will also remove the old siding and tar paper.

Commissioner Sianis had no questions.

Commissioner Dorband liked the colors and thanked the petitioner for the upgrade.

Commissioner Zangara questioned if there would be a flashing on top. Mr. Direner confirmed there would be an aluminum capping on top. The reveal is approximately 1/2".

Commissioner Issakoo felt it was a major improvement.

Chairman Pro Tem Johnson had no questions.

Commissioner Dorband moved, seconded by Commissioner Sianis to **Approve Docket No. PC 16-5** to grant minor site plan and appearance approval for façade modifications in accordance with the following exhibits submitted March 29, 2016 by APEX Design Build for Weber Flavors, located at 549 Palwaukee Drive, Wheeling, Illinois:

- Cover letter
- Site plan
- Rendering
- Material spec sheets (4 pages)

On the roll call, the vote was as follows:

AYES: Commissioners Dorband, Issakoo, Johnson, Sianis, Zangara
NAYS: None
ABSENT: Commissioners Powers, Ruffatto
PRESENT: None
ABSTAIN: None

There being five affirmative votes, the motion was approved.

- B)** [Docket No. 2016-5](#)
Yanov Residence
384 Marion Court

Variation from Title 19, Zoning, to Reduce the Required Rear Yard Setback for a
Principal Structure

See Findings of Fact and Recommendation for Docket No. 2016-5.

Commissioner Dorband moved, seconded by Commissioner Sianis to recommend approval of Docket No. 2016-5, granting a variation from Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-04 Residential Districts, Section 19.04.010, Residential District General Requirements, Subsection F, General Regulations for Single-Family Districts, Section 19.04.050, F. Setbacks and Height Restrictions for Principal Building, in order to reduce the required rear setback to construct an addition to an existing single-family house, in accordance with the following plans submitted February 25, 2016, for 384 Marion Court, Wheeling, Illinois:

- Cover letter,
- Plat of survey,
- Title Sheet, A-001,
- Site Plan, A-002,
- Foundation Plan, A-100,
- Floor Plan/Roof Plan, A-200, and
- Exterior Elevations, A-300.

And with the following condition of approval:

1. That the location of the shed is not approved at this time.

On the roll call, the vote was as follows:

AYES: Commissioners Dorband, Issakoo, Johnson, Sianis, Zangara
NAYS: None
ABSENT: Commissioners Powers, Ruffatto
PRESENT: None
ABSTAIN: None

There being five affirmative votes, the motion was approved.

Commissioner Issakoo moved, seconded by Commissioner Dorband to close Docket No. 2016-5. The motion was approved by a voice vote.

- C) [Docket No. 2016-7](#)
Dog Grooming
501 N. Wolf Road
Special Use-Site Plan Approval to Establish an Animal Grooming Facility

See Findings of Fact and Recommendation for Docket No. 2016-7.

Commissioner Issakoo moved, seconded by Commissioner Sianis to recommend approval of Docket No. 2016-7 to grant Special Use-Site Plan approval under Chapter 19-05 Mixed Use and Overlay Districts, Chapter 19-09 Planned Unit Developments; Chapter 19-10 Use Regulations, and Chapter 19-12 Site Plan Approval Requirements, and associated sections, for an animal grooming facility in accordance with the project description and floor plan submitted March 15, 2016 by Eugene Tkachenko, to be located at 501 N. Wolf Road, Wheeling, Illinois.

On the roll call, the vote was as follows:

AYES: Commissioners Dorband, Issakoo, Johnson, Sianis, Zangara
NAYS: None
ABSENT: Commissioners Powers, Ruffatto
PRESENT: None
ABSTAIN: None

There being five affirmative votes, the motion was approved.

Commissioner Dorband moved, seconded by Commissioner Sianis to close Docket No. 2016-7. The motion was approved by a voice vote.

8. APPROVAL OF MINUTES – March 24, 2016 (includes Findings of Fact for Docket No. 2015-6)

Commissioner Dorband moved, seconded by Commissioner Issakoo to approve the minutes dated March 24, 2016 as proposed. The motion was approved by a voice vote. Commissioner Sianis abstained.

9. OTHER BUSINESS

Commissioner Sianis questioned if a Commissioner was required to abstain from approving the minutes if he/she was not present at the meeting. Ms. Milluzzi confirmed that a petitioner would not be prohibited from voting. She will distribute an opinion to Ms. Jones.

Commissioner Zangara questioned if a garage would be considered attached if there was only a roof from the garage to a house. Ms. Jones felt it would probably be considered an attached garage but she was not certain.

Ms. Jones had previously sent an e-mail asking if the Commission was available to attend a May 23rd joint meeting with the Village Board. She requested that everyone respond if that hadn't done

so already.

Ms. Jones announced there were two public hearings scheduled for the April 28th meeting. She also mentioned that it would be a busy spring and summer. She asked the Commission to let her know in advance if anyone was not available for a meeting.

10. ADJOURNMENT

Commissioner Dorband moved, seconded by Commissioner Sianis to adjourn the meeting at 7:14 p.m. All were in favor on a unanimous voice vote and the meeting was adjourned.

Respectfully submitted,

Paul Zangara, Secretary Pro Tem
Wheeling Plan Commission

**DISTRIBUTED TO THE COMMISSION 4.22.2016
FOR APPROVAL ON 4.28.2016**

**FINDINGS OF FACT
AND RECOMMENDATION**

To: Village President and Board of Trustees

From: Wheeling Plan Commission/Sign Code Board of Appeal

Re: Docket No. 2016-5
Yanov Residence
384 Marion Court
Variation from Title 19, Zoning, to Reduce the Required Rear Yard Setback for a
Principal Structure

Pasha Yanov, owner, is seeking a variation from Title 19, Zoning, of the Wheeling Restrictions for Principal Building, in order to reduce the required rear setback to construct an addition to an existing single-family house, which is zoned R-3A Single-Family Residential.

Chairman Pro Tem Johnson called Docket No. 2016-5 on April 14, 2016. Present were Commissioners Dorband, Issakoo, Johnson, Sianas and Zangara. Commissioners Powers and Ruffatto were absent with prior notice. Also present were Brooke Jones, Senior Planner and Mallory Milluzzi, Village Attorney.

Commissioner Zangara read the following statement aloud.

A zoning variation is intended to be a method of adjustment to equalize regulations where Title 19 of the Village of Wheeling (Zoning) has created an unnecessary hardship. A variation is designed to allow affected property owners the same rights and privileges that others enjoy in the same zoning district. In order to be granted a variation a petitioner is required to demonstrate through testimony to the Plan Commission at the public hearing why their request meets the conditions of the village code including, but not limited to, how their individual situation is unique or unusual. Prior to the public hearing the petitioner provides written statements meant to show that their request for variation meets the standards established in Title 19. The Commission Chairperson will typically direct that these statements be entered into the record without a full reading of them at the hearing. Based upon the testimony and supporting materials submitted, the Plan Commission will make findings in support of, or against, the petitioner's testimony and report those findings to the Village Board.

Mr. Pasha Yanov, 384 Marion Court, property owner was present. Mr. Yanov explained he was planning to build a room connecting the house to the garage. The proposed garage would be the same size as the existing garage. The new garage will be built on a foundation.

Commissioner Issakoo had no questions.

In response to Commissioner Zangara's question, Mr. Yanov confirmed they were not replacing the driveway.

Findings of Fact and Recommendation

DOCKET NO. 2016-5

Commissioner Zangara noted the curb cut was wide. Mr. Yanov agreed it was unusual but would remain the same. Commissioner Zangara referred to the large crack in the driveway.

Commissioner Sianas questioned if the siding on the new garage would match the existing siding on the house. Mr. Yanov confirmed the color should match the house since the siding was recently replaced. Commissioner Sianas expressed concern that the colors should match.

In reply to Commissioner Sianas' question, Mr. Yanov confirmed the storage shed on the side of the house would be removed.

Commissioner Dorband questioned if the cement between the garage and house would be replaced. Mr. Yanov confirmed they were replacing it. She expressed concern why the driveway was not being replaced since she noticed some uneven pavement and felt it would be a trip and fall hazard where the apron meets the new garage. She also expressed concern that the large cement trucks would cause additional damage to the existing driveway and didn't understand why they weren't replacing the entire driveway. She questioned the petitioner's plans if the trucks damaged the driveway. Mr. Yanov confirmed he would fix it if it was damaged. Commissioner Dorband felt it would be cheaper if he did the whole job at one time rather than replacing the driveway at a later date. Mr. Yanov wasn't concerned about the crack since he was planning to patch the crack with glue. Commissioner Dorband explained the patch glue would become loose and come out. Mr. Yanov explained the product was used in commercial projects. Commissioner Dorband questioned why the petitioner was not replacing the driveway. Mr. Yanov felt it was a waste of money. Commissioner Dorband felt the petitioner was going to great lengths to improve the property and felt he should finish the job. She felt the property value would increase further with a new driveway. Mr. Yanov agreed to consider it. He questioned if he would need to replace the apron. Commissioner Dorband was only concerned with the driveway from the sidewalk to the garage.

Mr. Milluzzi did not recommend making it a condition on the variation. Mr. Yanov agreed to consider it but was uncertain about doing it because of the cost. Ms. Milluzzi explained it would be a property maintenance Code issue if it was damaged.

Chairman Pro Tem Johnson echoed Commissioner Dorband's concern. He suggested getting a price for replacing the entire driveway including the apron.

Chairman Pro Tem Johnson referred to the Fire Department's comment about relocating the gas meter to the outside. Mr. Yanov confirmed the gas meter's current location was between the garage and the house. Commissioner Sianas noted it was a Code requirement and was not negotiable.

Commissioner Sianas referred to the concrete wheel paths in the front yard. Mr. Yanov confirmed he was planning to remove them and add grass. Commissioner Sianas wanted them removed.

In reply to Chairman Pro Tem Johnson's question, Mr. Yanov confirmed they were not doing anything to the fence.

Commissioner Dorband moved, seconded by Commissioner Sianas to recommend approval of Docket No. 2016-5, granting a variation from Title 19, Zoning, of the Wheeling Municipal Code,

**Findings of Fact and
Recommendation**

DOCKET NO. 2016-5

Chapter 19-04 Residential Districts, Section 19.04.010, Residential District General Requirements, Subsection F, General Regulations for Single-Family Districts, Section 19.04.050, F. Setbacks and Height Restrictions for Principal Building, in order to reduce the required rear setback to construct an addition to an existing single-family house, in accordance with the following plans submitted February 25, 2016, for 384 Marion Court, Wheeling, Illinois:

- Cover letter,
- Plat of survey,
- Title Sheet, A-001,
- Site Plan, A-002,
- Foundation Plan, A-100,
- Floor Plan/Roof Plan, A-200, and
- Exterior Elevations, A-300.

And with the following condition of approval:

1. That the location of the shed is not approved at this time.

On the roll call, the vote was as follows:

AYES: Commissioners Dorband, Issakoo, Johnson, Sianis, Zangara
NAYS: None
ABSENT: Commissioners Powers, Ruffatto
PRESENT: None
ABSTAIN: None

There being five affirmative votes, the motion was approved.

Commissioner Issakoo moved, seconded by Commissioner Dorband to close Docket No. 2016-5. The motion was approved by a voice vote.

Respectfully submitted,

Don Johnson, Chairman Pro Tem
Wheeling Plan Commission/
Sign Code Board of Appeals

**DISTRIBUTED TO THE COMMISSION 4.22.2016
FOR APPROVAL ON 4.28.2016**

**FINDINGS OF FACT
AND RECOMMENDATION**

To: Village President and Board of Trustees

From: Wheeling Plan Commission/Sign Code Board of Appeal

Re: Docket No. 2016-7
Dog Grooming
501 N. Wolf Road
Special Use-Site Plan Approval to Establish an Animal Grooming Facility

19-05 Mixed Use and Overlay Districts; Chapter 19-10 Use Regulations, and Chapter 19-12 Site Plan Approval Requirements, and associated sections, to establish an Animal Grooming Facility at 501 N. Wolf Road, Wheeling, Illinois, which is zoned MXI, Mixed Use Industrial District.

Chairman Pro Tem Johnson called Docket No. 2016-7 on April 14, 2016. Present were Commissioners Dorband, Issakoo, Johnson, Sianas and Zangara. Commissioners Powers and Ruffatto were absent with prior notice. Also present were Brooke Jones, Senior Planner and Mallory Milluzzi, Village Attorney.

Commissioner Zangara read the following statement aloud.

A zoning Special Use, as defined in Title 19, of the village of Wheeling (Zoning), is a use of parcel of land that requires review and consideration before approval due to circumstances or effects on the surrounding properties that may adversely affect them. In order to be considered for a special use the petitioner is required to demonstrate through testimony to the Plan Commission at the public hearing why their request meets the conditions of the village code including, but not limited to, how the proposed use will not damage the enjoyment or use of the surrounding properties. Prior to the public hearing the petitioner provides written statements meant to show that their request for a special use meets the standards established in Title 19. The Commission Chairperson will typically direct that these statements be entered into the record without a full reading of them at the hearing. Based upon the testimony and supporting materials submitted, the Plan Commission will make findings in support of, or against, the petitioner's testimony and report those findings to the Village Board.

Eugene Tkachenko, business owner, 501 N. Wolf Road was present. He explained they were proposing a new use for the facility. It is currently being used as a real estate office. He is the owner of the unit and decided to change the use to a dog grooming facility.

Commissioner Dorband asked for an explanation of the interior layout of the unit for the proposed use. Mr. Tkachenko explained the drying process was done near the restroom.

In reply to Commissioner Dorband's question, Mr. Tkachenko confirmed they would groom up to 8 dogs at one time using 4 double cages. There will be two employees.

Commissioner Sianas questioned if signage would be added at a later date. Mr. Tkachenko

**Findings of Fact and
Recommendation**

DOCKET NO. 2016-7

confirmed signage would be presented at the next meeting.

Commissioner Issakoo questioned if the neighbors had expressed any concern with the new use. Mr. Tkachenko reported that he attended the association meeting and received a letter indicating that they did not have a problem with the new use. Ms. Jones has a copy.

In reply to Commissioner Zangara's question, Mr. Tkachenko confirmed there was a second emergency exit.

In reply Commissioner Zangara's question, Mr. Tkachenko explained they would walk the dogs outside if necessary. He further explained they would only keep each dog for a couple of hours. They will supply bags outside of the unit for use before and after grooming. They will also check the surrounding area each night.

Commissioner Johnson had no questions.

In reply to Commissioner Dorband's question, Mr. Tkachenko stated the name of the business would be Go Grooming.

Commissioner Issakoo moved, seconded by Commissioner Sianis to recommend approval of Docket No. 2016-7 to grant Special Use-Site Plan approval under Chapter 19-05 Mixed Use and Overlay Districts, Chapter 19-09 Planned Unit Developments; Chapter 19-10 Use Regulations, and Chapter 19-12 Site Plan Approval Requirements, and associated sections, for an animal grooming facility in accordance with the project description and floor plan submitted March 15, 2016 by Eugene Tkachenko, to be located at 501 N. Wolf Road, Wheeling, Illinois.

On the roll call, the vote was as follows:

AYES: Commissioners Dorband, Issakoo, Johnson, Sianis, Zangara
NAYS: None
ABSENT: Commissioners Powers, Ruffatto
PRESENT: None
ABSTAIN: None

There being five affirmative votes, the motion was approved.

Commissioner Dorband moved, seconded by Commissioner Sianis to close Docket No. 2016-7. The motion was approved by a voice vote.

Respectfully submitted,

Don Johnson, Chairman Pro Tem
Wheeling Plan Commission/
Sign Code Board of Appeals

**DISTRIBUTED TO THE COMMISSION 4.22.2016
FOR APPROVAL ON 4.28.2016**

DRAFT