

PUBLIC NOTICE - AGENDA

IN ACCORDANCE WITH THE APPLICABLE STATUTES OF THE STATE OF ILLINOIS AND ORDINANCES OF THE VILLAGE OF WHEELING, NOTICE IS HEREBY GIVEN THAT

THE REGULAR MEETING

OF THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING WILL BE HELD ON MONDAY, NOVEMBER 21, 2016 AT 6:30 P.M. IN THE BOARD ROOM, WHEELING VILLAGE HALL, 2 COMMUNITY BOULEVARD, WHEELING, ILLINOIS VILLAGE PRESIDENT DEAN S. ARGIRIS PRESIDING

DURING WHICH MEETING IT IS ANTICIPATED THERE WILL BE DISCUSSION AND CONSIDERATION OF AND, IF SO DETERMINED, ACTION UPON THE MATTERS CONTAINED IN THE FOLLOWING:

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL FOR ATTENDANCE**
- 4. APPROVAL OF MINUTES** Regular Meeting of October 17, 2016
- 5. CHANGES TO THE AGENDA**
- 6. PROCLAMATIONS, CONGRATULATORY RESOLUTIONS AND AWARDS**
- 7. APPOINTMENTS AND CONFIRMATIONS**
- 8. ADMINISTRATION OF OATHS**
- 9. CITIZEN CONCERNS AND COMMENTS**
- 10. STAFF REPORTS**
- 11. CONSENT AGENDA – None**
- 12. OLD BUSINESS**
- 13. NEW BUSINESS All Listed Items for discussion and Possible Action**
 - A. [PRESENTATION RE: The 2017–2021 Capital Improvement Plan \(CIP\) for the Village of Wheeling](#)**
 - B. [Resolution of the Corporate Authorities to Determine the Amount of the Tax Levy for the 2016 Tax Year](#)**
 - C. [Public Hearing and Resolution Regarding a Request for Cook County Class 6B with Special Circumstances Real Estate Tax Assessment Classification for the Property Located at 511 Glenn Avenue](#)**
 - 1. Public Hearing** Re: Request for Cook County Class 6b Property Tax Classification from 511 Glenn, LLC, contract purchaser.

2. **Resolution** Consenting to a Cook County Class 6b Real Estate Tax Assessment Classification for the Properties Located at 511 Glenn Avenue, in the Village of Wheeling, Illinois

D. [Two \(2\) Ordinances Re: an Industrial Building at 800 Northgate Parkway](#)

1. **Ordinance** Granting a Variation from Title 19, Zoning, of the Wheeling Municipal Code Relating to Required Parking at 800 Northgate Parkway (Docket No. 2016-22)
2. **Ordinance** Granting Site Plan and Building Appearance Approval for a Speculative Industrial Development at 800 Northgate Parkway (Docket No. PC 16-12)

E. [Resolution Approving a Contract with Northwest Electrical Supply for Milwaukee Avenue Median Electrical Work in an Amount Not to Exceed \\$52,211](#)

F. [Ordinance Declaring as Surplus and Authorizing the Disposal, Recycling, or Auction of Municipal Property Owned by the Village of Wheeling](#)

14. OFFICIAL COMMUNICATIONS

15. APPROVAL OF BILLS [November 3, 2016 – November 16, 2016](#)

16. EXECUTIVE SESSION

17. ACTION ON EXECUTIVE SESSION ITEMS, IF REQUIRED

18. ADJOURNMENT

***~THIS MEETING WILL BE TELEVISED ON WHEELING CABLE CHANNELS 17 & 99~
IF YOU WOULD LIKE TO ATTEND A VILLAGE MEETING, BUT REQUIRE AN AUXILIARY AID
SUCH AS A SIGN LANGUAGE INTERPRETER, CALL 847-499-9085 AT LEAST 72 HOURS PRIOR TO THE MEETING.***

VILLAGE OF WHEELING LEGISLATIVE COVER MEMORANDUM

AGENDA ITEM NO(S): 13.A
(To be inserted by Deputy Clerk)

DATE OF BOARD MEETING: November 21, 2016

TITLE OF ITEM SUBMITTED: PRESENTATION RE: The 2017–2021 Capital Improvement Plan (CIP) for the Village of Wheeling

SUBMITTED BY: Mark Janeck, Director of Public Works

BASIC DESCRIPTION OF ITEM¹: Review of likely and anticipated capital improvement requirements of the Village during the next five years.

BUDGET²: N/A

BIDDING³: N/A

EXHIBIT(S) ATTACHED: Staff Memo

RECOMMENDATION: N/A

SUBMITTED FOR BOARD CONSIDERATION: VILLAGE MANAGER

¹ The purpose of the proposed item and a description of same. If the issue is site specific, such as an annexation or road improvement, a map must be attached to the memorandum.

² If applicable, provide all budgetary considerations as follows: is the item covered in the current budget; fund(s) the item is to be charged to; expenses per fund(s) and total cost; and necessary transfer(s) or supplemental appropriation(s).

³ If applicable, describe the bidding process and results for purchases and contracts. If applicable, state whether or not any particular city, state or federal program was considered

**VILLAGE OF WHEELING
LEGISLATIVE COVER MEMORANDUM**

AGENDA ITEM NO(S): 13.B
(To be inserted by Deputy Clerk)

DATE OF BOARD MEETING: November 21, 2016

TITLE OF ITEM SUBMITTED: Resolution of the Corporate Authorities to Determine the Amount of the Tax Levy for the 2016 Tax Year

SUBMITTED BY: Michael Mondschain, Director of Finance

BASIC DESCRIPTION OF ITEM¹: A resolution determining the amount of the 2016 Village Tax Levy.

BUDGET²: \$14,700,000 in proposed revenue.

BIDDING³: N/A

EXHIBIT(S) ATTACHED: Memo, Attachment A, Resolution

RECOMMENDATION: Staff recommends approval of the resolution.

SUBMITTED FOR BOARD APPROVAL: **VILLAGE MANAGER**

¹ *The purpose of the proposed item and a description of same. If the issue is site specific, such as an annexation or road improvement, a map must be attached to the memorandum.*

² *If applicable, provide all budgetary considerations as follows: is the item covered in the current budget; fund(s) the item is to be charged to; expenses per fund(s) and total cost; and necessary transfer(s) or supplemental appropriation(s).*

³ *If applicable, describe the bidding process and results for purchases and contracts. If applicable, state whether or not any particular city, state or federal program was considered*



TO: Jon Sfondilis, Village Manager

FROM: Michael B. Mondschain, Director of Finance

DATE: November 17, 2016

SUBJECT: Resolution of the Corporate Authorities to Determine the Amount of the 2016 Tax Levy

EXECUTIVE SUMMARY

At their budget workshop meeting of November 12, 2016, the Village Board directed staff to prepare the Tax Year 2016 property tax levy reflecting a \$700,000 increase from the prior year. As required by State law, staff has prepared a resolution determining the amount of the 2016 levy. This memo explains each component of the tax levy and reflects the direction given by the Board.

INTRODUCTION

On an annual basis, it is necessary for the corporate authorities to review the financial requirements of the Village in relation to the property tax levy. The difference between non-property tax revenue sources to certain funds and the projected expenditures of each fund represents the amount that must be raised from property taxes. Real estate taxes provide varied percentages of the overall revenues to each of the funds, but are substantial portions of the total new revenues to the funds.

The following is an analysis by individual fund of the current financial requirements and the recommended levies. This information is summarized in Attachment A (attached).

GENERAL FUND

The General Fund supports safety services in the Police and Fire Departments, general administrative services of the President and Board of Trustees, and many activities of the Village Manager, Finance, Community Development, Public Works and Human Services Departments.

Each of these departments is also supported by sources of revenue that are highly susceptible to fluctuations in the economy.

As a result, staff closely tracks revenue received each year to determine if a shortfall will occur in the General Fund, which may have to be met with additional property tax revenue. In 2017, the largest source of anticipated revenue to the General Fund is sales tax (\$10,367,108), followed by property tax revenue (\$8,820,478) and state income tax (\$3,737,230).

The FY 2017 budget as proposed reflects a small surplus of \$79,754, including a property tax levy increase of \$700,000. The increase is necessary to balance the General Fund budget, pay the debt service on the Village’s existing bonds, and make full contributions to the Police and Fire Pension Funds as determined by the Village’s actuary. By approving a budget with a small surplus, the Village will maintain its reserves at its current level (i.e. nearly 37% of annual operating expenditures) without relying on funds that would normally be used for infrastructure and capital equipment needs. Balancing the budget for the second consecutive year is important for the short term, but even more importantly helps the Village to achieve financial stability in future years as well.

It is also important given the uncertainty surrounding what is happening at the state level; Governor Rauner has made a two-year property tax freeze a key component of his Turnaround Agenda. There have also been many discussions about reducing the municipal share of income tax revenue. If either (or both) of these options are approved by the legislature, the Village will find itself in a very difficult position financially given our projections for future deficits if the tax levy is not increased incrementally as necessary. Balancing the budget now puts the Village in a position to be able to balance future budgets with smaller, more manageable tax increases and sends a positive signal to the bond rating agencies as well.

The Village’s fund balance policy requires that the fund balance exceed 25% of annual expenditures. A balanced budget will maintain a fund balance in the General Fund of approximately \$14.7 million at the end of FY 2017, which will represent nearly 37% of annual expenditures. The Village will have to commit, however, to future tax levy increases to avoid a reduction in fund balance below 25%. The following is a description of each of the components of the recommended 2016 tax levy.

The following are the tax levies (including County loss and cost charges) for the General Fund for the past ten (10) years, and the proposed levy for next year:

| Tax Year | Levy Amount | Percent Increase |
|----------|------------------|------------------|
| 2006 | 6,728,946 | 14.12% |
| 2007 | 5,452,008 | (18.9%) |
| 2008 | 5,572,590 | 2.21% |
| 2009 | 6,459,605 | 15.92% |
| 2010 | 8,012,992 | 24.05% |
| 2011 | 7,788,237 | (2.80%) |
| 2012 | 7,426,947 | (4.63%) |
| 2013 | 7,030,534 | (5.33%) |
| 2014 | 7,773,339 | 10.57% |
| 2015 | 8,851,737 | 13.87% |
| 2016 | 9,085,092 | 2.64% |

Staff recommends that the Board approve a 2016 General Fund levy of \$8,820,478—plus \$264,614 for Loss and Costs—which is 2.64% more than last year.

PENSION FUNDS

Low investment returns over the last 10 years have caused the Village’s Police and Fire Pension Funds to remain underfunded at 69.8% and 57.5% respectively (as of December 31, 2015). Many municipalities have been impacted similarly, and the employer contribution to each fund has risen substantially for most communities. The unfunded actuarial accrued liability (UAAL) must be addressed through annual contributions to each Fund, since State law requires municipalities to have Police and Fire Pension Funds that are at least 90% funded by the year 2040.

Despite recent changes to State statutes resulting from pension reform, and increases in the value of the pension funds’ assets since 2008, the Village’s contributions to the funds have increased significantly this year. The 2016 tax levy for both pension funds will increase by a combined rate of 9.64% or \$357,036.

Increases in the Village’s contributions to the Police and Fire Pension Funds and the Illinois Municipal Retirement Fund (IMRF) are one reason why the Village has been dealing with budget deficits the last few years. In fact, the amount of money allocated to the pension funds (i.e. including Police, Fire, IMRF and Social Security) has increased substantially over the years, from approximately \$1.9 million of the 2004 levy to \$5.3 million of the proposed 2016 levy, an increase of 179%.

The pension funds are funded primarily from three sources: employer and employee contributions, investment earnings, and taxes. An independent actuary determines the Village’s contribution by annually reviewing actuarial assumptions and the fund’s financial position. The Village Board annually approves a property tax levy, which provides for the employer’s contribution.

State statutes allow municipalities to determine their annual contribution to these funds (Police and Fire Pension) by using the Illinois Department of Insurance (IDOI) report or the report of a registered actuary. We retained Todd A. Schroeder with Lauterbach and Amen, LLP this year to analyze these funds and determine the necessary contribution. The results of that evaluation are noted below.

POLICE PENSION FUND

The Village’s levies (including L&C) for the last ten (10) years and the proposed levy for next year are as follows:

| Tax Year | Levy Amount | Percent Increase |
|----------|------------------|------------------|
| 2006 | 818,157 | 8.61% |
| 2007 | 839,460 | 2.60% |
| 2008 | 870,258 | 3.67% |
| 2009 | 1,294,175 | 50.15% |
| 2010 | 1,272,847 | -1.6% |
| 2011 | 1,384,284 | 8.75% |
| 2012 | 1,426,836 | 3.07% |
| 2013 | 1,537,699 | 7.76% |
| 2014 | 1,651,694 | 7.41% |
| 2015 | 1,821,535 | 10.28% |
| 2016 | 1,821,365 | -0.01% |

Staff recommends that the Village Board approve a levy of \$1,768,316 plus \$53,049 for loss and costs for a total decrease of -\$169.95 or -0.01%.

FIRE PENSION FUND

The Village’s levy (including L&C) for the last ten (10) years and the proposed levy for next year are as follows:

| Tax Year | Levy Amount | Percent Increase |
|----------|------------------|------------------|
| 2006 | 479,573 | 44.97% |
| 2007 | 698,700 | 45.69% |
| 2008 | 762,333 | 9.10% |
| 2009 | 1,133,819 | 48.73% |
| 2010 | 1,172,300 | 3.39% |
| 2011 | 1,324,671 | 13.00% |
| 2012 | 1,503,910 | 13.53% |
| 2013 | 1,691,627 | 11.42% |
| 2014 | 1,793,124 | 6.00% |
| 2015 | 1,994,471 | 11.23% |
| 2016 | 2,362,388 | 18.45% |

Staff recommends that the Village Board approve a levy of \$2,293,581 plus \$68,807 for loss and costs for a total increase of \$367,917 or 18.45%.

GENERAL OBLIGATION BOND AND INTEREST FUND

The Bond Fund was established to make principal and interest payments on the Village's outstanding G.O. debt. The extended levies (including loss & costs) for the past ten (10) years and the proposed levy for next year are as follows:

| Tax Year | Levy Amount |
|----------|-------------|
| 2006 | 970,795 |
| 2007 | 2,007,304 |
| 2008 | 2,354,634 |
| 2009 | 1,814,407 |
| 2010 | 450,715 |
| 2011 | 433,440 |
| 2012 | 1,896,189 |
| 2013 | 1,670,522 |
| 2014 | 1,785,282 |
| 2015 | 1,786,281 |
| 2016 | 1,908,507 |

The required levy, before abatement, for 2016 is \$6,455,333. This includes the total levies from the following outstanding debt issues:

| Bond Issue | Purpose | Levy Amount |
|-------------------|------------------------------|--------------------|
| 2007 | Village Hall (VH) Bonds | 392,000 |
| 2008 | VH/PW/FS/Police Bldgs. | 2,082,408 |
| 2009 | VH/PW/FS/Police Bldgs. | 392,000 |
| 2011 | Refunding Bonds | 968,100 |
| 2012A | Refunding Bonds | 415,125 |
| 2012B | Water Meter Bonds | 235,700 |
| 2016 | Westin Hotel Refunding Bonds | 1,970,000 |
| Total Levy | | \$6,455,333 |

We intend (again) to use the following available funds to abate most of these levies:

| Bond Issue | Source of Available Funds | Abatement Amount |
|-------------------|----------------------------------|-------------------------|
| 2007 | Capital Projects Fund | 372,000 |
| 2008 | Water/Sewer Fund | 676,783 |
| 2011 | Water/Sewer Fund | 223,641 |
| 2011 | Lake Cook/Milwaukee TIF | 351,560 |
| 2011 | Capital Projects Fund | 392,899 |
| 2012A | General Fund | 415,125 |
| 2012B | Water/Sewer Fund | 235,700 |
| 2016 | Lake Cook/Milwaukee TIF | 1,970,000 |

| | |
|---------------------|--------------------|
| Total Abatements | -\$4,637,708 |
| Net Levy | \$1,817,625 |
| Add 5% Loss & Costs | \$ 90,881 |
| Final Levy | \$1,908,506 |

The net levy for debt service after these abatements will be \$1,817,625. After adding 5% (\$90,881) for loss and costs, the final proposed levy is \$1,908,506.

In order to produce a bond rating for the Village, the rating agencies look at many different aspects of the Village's overall structure and the environment in which it operates, including its financial condition, the economy, how the organization is managed, and its existing debt. While they rely on many factors to derive their rating, two examples are useful in determining where the Village's debt stands compared to other municipalities.

One such standard looks at a community's total governmental funds debt service as a percentage of expenditures. Communities with percentages less than 15% are judged to be "strong" (less than 8% is considered "very strong"). At the beginning of FY 2017, Wheeling's percentage will be 12.93%, at the high end of the "strong" category.

A second standard examines a community's net debt as a percentage of the market value of real property within its limits. Communities with net debt below 3% of market value receive high marks. At the beginning of FY 2016, the Village's net debt will represent only 2.26% of market value, a strong position as viewed by Standard and Poor's.

SUMMARY

A summary of the recommended levy for 2016 is included at the bottom of Exhibit A along with the effects of the recommended abatements. The 2016 levy, as abated, is also compared to the 2015 levy. In both cases, these figures do not include the L&C charges. Those charges are detailed in the sections above. The final tax levy, after abatement, is \$14,700,000.

Staff recommends that the Board increase the tax levy every year to offset the rising cost of salaries and benefits, contractual services, and commodities and debt service expenditures. Increasing the tax levy incrementally each year is necessary to balance the budget and to eliminate the need to use capital funds to avoid deficits. The Village's operating costs increase every year in a predictable manner and increases in the Village's other major sources of revenue (i.e. sales and income tax) are, by themselves, insufficient to eliminate the need for a property tax increase. The cost of providing core services increases at a rate of over \$1,000,000 per year; to offset those increases, the Village must increase the tax levy in order to continue to provide the essential services our residents and businesses expect to receive.

TRUTH IN TAXATION

Taxing bodies in Illinois are subject to the Truth in Taxation Law, 35 ILCS 200/18-55. Under the law applicable to all, a taxing body must hold a public hearing, properly noticed, if it intends to adopt an aggregate levy that is more than 105% of the total levy of the prior year, including any amount abated before extension.

The corporate authorities must approve an estimate of taxes necessary to be raised for the coming year at least twenty (20) days prior to the date the levy will be adopted. If the estimated levy will exceed 105% of last year's final extension plus any amount abated by the corporate authorities prior to the extension, a public hearing notice must be published in the newspaper and a public hearing must be held between seven (7) and fourteen (14) days after the notice is published in the newspaper.

Since the 2016 estimated levy after abatement will exceed 105% of last year's extension, a public hearing must be held and the Village needs to publish a Truth in Taxation notice. As such, I recommend that the Board consider and approve the resolution determining the amount of the 2016 levy (attached) at the November 21, 2016 meeting. The Board may then hold a public hearing and consider the tax levy and abatement ordinances for approval on December 19, 2016.

If you or any Board member has questions about the proposed levy, please let me know.

RESOLUTION 16- _____

A RESOLUTION OF THE CORPORATE AUTHORITIES TO DETERMINE THE AMOUNT OF THE TAX LEVY FOR THE 2016 TAX YEAR

WHEREAS, the Truth in Taxation Law of the State of Illinois requires the corporate authorities to determine the amounts of money estimated to be necessary to be raised by property taxes from year to year; and

WHEREAS, the Village staff has presented the fiscal requirements for the Village's 2016 fiscal year; and

WHEREAS, the estimated aggregate levy amount (before abatement) for the 2016 tax year, including general obligation bond debt service, is \$20,046,946; and

WHEREAS, it is necessary to hold a public hearing and publish a notice in the newspaper because the total increase in the levy exceeds 105% of the 2015 levy;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the amount of the 2016 aggregate tax levy (after abatement) has been determined to be \$14,700,000.

Trustee _____ moved, seconded by Trustee _____, that Resolution No.16- _____ be adopted.

President Argiris _____

Trustee Brady _____

Trustee Papantos _____

Trustee Krueger _____

Trustee Vito _____

Trustee Lang _____

Trustee Vogel _____

ADOPTED this _____ day of _____, 2016, by the President and Board of Trustees of the Village of Wheeling, Illinois

Dean S. Argiris
Village President

ATTEST:

Elaine E. Simpson
Village Clerk

**EXHIBIT A
FUND BALANCE/TAX LEVY DETERMINATION
2016 TAX YEAR**

| | GENERAL | GO BOND & INTEREST | POLICE PENSION | FIRE PENSION |
|---|------------------|-----------------------------------|---------------------------|-------------------------|
| Estimated Fund Balance 12/31/2016 | 14,658,701 | 74,747 | 45,135,041 | 33,725,362 |
| Budgeted Revenues w/o Levy 1/1/17-12/31/17 | 31,281,788 | 996,884 | 1,098,742 | 981,042 |
| Proposed 2016 Levy | 8,820,478 | 1,817,625 | 1,768,316 | 2,293,581 |
| Budgeted Expenditures 1/1/17-12/31/17 | 40,022,512 | 2,866,408 | 2,971,743 | 3,079,288 |
| Projected Fund Balance 12/31/2017 | 14,738,455 | 22,848 | 45,030,356 | 33,920,697 |

| Fund | 2016 Levy** | After Abate.** | 2015 Levy** | After Abate.** |
|--------------------|--------------------|-----------------------|--------------------|-----------------------|
| General | 8,820,478 | 8,820,478 | 8,593,919 | 8,593,919 |
| GO Bond & Interest | 6,455,333 | 1,817,625 | 4,355,934 | 1,701,220 |
| Police Pension | 1,768,316 | 1,768,316 | 1,768,481 | 1,768,481 |
| Fire Pension | 2,293,581 | 2,293,581 | 1,936,380 | 1,936,380 |
| TOTAL | 19,337,708 | 14,700,000 | 16,654,714 | 14,000,000 |

VILLAGE OF WHEELING

LEGISLATIVE COVER MEMORANDUM

AGENDA ITEM NO(S): 13.C 1&2
(To be inserted by Deputy Clerk)

DATE OF BOARD MEETING: November 21, 2016

TITLE OF ITEM SUBMITTED:

- A. Public Hearing Re: Request for Cook County Class 6b Property Tax Classification from 511 Glenn, LLC, contract purchaser
- B. Resolution Consenting to a Cook County Class 6b Real Estate Tax Assessment Classification for the Properties Located at 511 Glenn Avenue in the Village of Wheeling, Illinois

SUBMITTED BY: John C. Melaniphy III, Director of Economic Development

BASIC DESCRIPTION OF ITEM¹: Application for Class 6b property tax classification with Special Circumstances based on 100% vacancy and abandonment for less than 24 continuous months with purchase for value of the industrial building located at 511 Glenn Avenue in Wheeling.

BUDGET²: N/A

BIDDING³: N/A

EXHIBIT(S) ATTACHED: Memo, Public Notice, Resolution, Class 6b Application

RECOMMENDATION: Staff recommends approval of the application.

SUBMITTED FOR BOARD APPROVAL: VILLAGE MANAGER

¹ State purpose of the proposed item and a description of same. If the issue is site specific, such as an annexation or road improvement, a map must be attached to the memorandum.

² If applicable, provide all budgetary considerations as follows: is the item covered in the current budget; fund(s) the item is to be charged to; expenses per fund(s) and total cost; and necessary transfer(s) or supplemental appropriation(s).

³ If applicable, describe the bidding process and results for purchases and contracts. If applicable, state whether or not any particular city, state or federal program was considered



MEMORANDUM

TO: John C. Melaniphy III, Director of Economic Development
FROM: Dru Garcia, Business Development Coordinator
DATE: November 17, 2016
SUBJECT: Request for Cook County Class 6b Property Tax Classification
511 Glenn, LLC – 511 Glenn Avenue

EXECUTIVE SUMMARY

An application for 6b Real Estate Property Tax Classification has been submitted by 511 Glenn, LLC (“Applicant”) and has been placed on the agenda for consideration by the Village Board on Monday, November 21, 2016. The Applicant plans to purchase the vacant industrial property at 511 Glenn Avenue in Wheeling following a substantial rehabilitation of the existing facility to prepare the space for occupancy by an industrial user.

BACKGROUND: Attached is an application for the Cook County Class 6b property tax incentive submitted by 511 Glenn, LLC (“Applicant”) as the purchaser of the vacant and abandoned industrial building at 511 Glenn Avenue (“subject property”). A public hearing is scheduled for November 21, 2016 and a public hearing notice was published in the Daily Herald on November 10, 2016.

If approved, the Applicant will acquire, substantially rehabilitate, and lease the subject property for occupancy by Bathing Brands, Inc. DBA Accurate Industries. Bathing Brands specializes in the design, build, assembly, sales, distribution, and installation of bathing environments—including shower, steam room, and sauna spaces—for clients in Illinois and throughout the nation, both residential and commercial. This includes service of equipment to health clubs, hotels, spas, and other customers.

Bathing Brands opened in Wheeling in January 2001. The company has since outgrown its approximately 15,040-square-foot facility at 441 Carpenter Avenue. According to the company, a larger facility is necessary to accommodate continued and anticipated growth. A search was conducted throughout the area, including multiple sites in Lake County. Information on these alternative locations is included in Exhibit G of the application.

During the search, the company identified the subject property at 511 Glenn Avenue as a suitable property. The subject property is comprised of an approximately 56,810-square-foot industrial building situated on an 187,452-square-foot site.

Per Exhibit L of the application, the property has struggled with underutilization since 2013, when the previous occupant, Hawk Electronics, Inc., began to reduce its operational footprint and number of employees. The subject property was 40% vacant in 2013, 50% vacant in 2014, 60% vacant in 2015, and 45% vacant for most of 2016 until the property was 100% vacated in September. Hawk Electronics ownership attributes much of the decline to international competition and the transfer of its business overseas. During this ongoing decline, the subject property experienced significant deterioration and deferred maintenance.

As outlined in Exhibit M of the application, while the period of 100% vacancy has been less than twenty-four contiguous months, a number of special circumstances exist at the property. The special circumstances cited are age, obsolescence, deterioration, depreciation of maintenance, and the applicant's desire to renovate or rehabilitate the building. The subject property, which was built in 1971, is over 45 years old and has a low (18-foot) clear height. Also, the prospective purchaser desires to allocate approximately \$768,480 for repairs and substantial rehabilitation. This work would include repair and/or replacement of the HVAC units and water heaters, replacement of deteriorated brick, tuck pointing and waterproofing the building exterior, replacement of exterior doors and windows, replacement and pavement of asphalt parking lots and driveways, replacement of concrete parking and driveway pads in front of the building, interior demolition and remodeling in the office and break areas, updated landscaping installation, wood shop construction, marketing and design space construction, and more. Additional details on the proposed work and related costs are provided in Exhibit K.

According to the Applicant, and as stipulated in the 6b contingency clause in Exhibit H, this property acquisition and subsequent investment is subject to the approval of the Class 6b real estate property tax classification.

CLASS 6b REQUIREMENTS: The Applicant is applying for the Class 6b property tax classification with special circumstances based on substantial reoccupation of abandoned property that has been vacant for less than 24 continuous months and with a purchase for value.

FISCAL IMPACT: 511 Glenn Avenue has been 100% vacant and unused since September 2016, and over 50% vacant beginning in 2014. This ongoing underutilization and deterioration of the subject property contributes to a decline in area property values. Additionally, the property is subject to receive property tax vacancy relief from the Cook County Assessor's Office. If the Class 6b real estate tax classification is granted and the property is reoccupied, a reduced assessment rate would be applied to the property.

The 6b incentive assessment rate is less than the standard assessment rate of 25%, being 10% for the first ten years, 15% on the eleventh year, and 20% on the twelfth year. However, the 6b rate only applies upon occupancy of the subject property. So even with the reduced 6b assessment rate, the property taxes generated and overall economic contribution would likely be greater than they would be if the property were to continue to receive vacancy relief, since a vacant property's assessed value and economic contribution is significantly lower than if it were fully-occupied.

As projected in Exhibit P, the reduced property tax liability resulting from a 6b classification for the subject property if fully occupied would be approximately \$79,866 per year, before increasing in subsequent assessment years. Please note that this projection of property taxes based on 6b classification does not include the proposed property improvements of approximately \$768,480, which would likely increase the assessed value.

The current estimated property tax liability for 2016 is approximately \$199,680, based on full occupancy with no vacancy relief. However, this number does not yet reflect that the property is now 100% vacant and would be eligible to receive the significant property tax relief. Also, the property owner has not yet filed for partial vacancy relief for previous years. In Exhibit P, the estimated property tax liability for the property without a 6b classification and at full vacancy is \$37,417. Therefore, the fiscal impact of the requested 6b would likely be fiscally neutral to modestly positive in the long term.

If the Applicant proceeds with purchasing the subject property, they would immediately begin rehabilitation to prepare the subject property for occupancy by Bathing Brands. According to Exhibit N, Bathing Brands currently employs 35 full-time, permanent employees. Bathing Brands projects an additional ten full-time, permanent positions would be created by 2019. The Applicant also projects that approximately 10–12 temporary construction jobs would be created during the rehabilitation.

In addition, the Applicant anticipates that employees and visitors would contribute to the Wheeling economy with increased sales tax revenue from expenditures at local gas stations, grocery stores, and restaurants, as well as other indirect contributions. The future tenant would also likely bring a number of jobs and attract business traffic to Wheeling during the course of its normal operations.

RECOMMENDATION: The Village has received the application fee of \$950.00. Village staff has reviewed the application, as summarized above, and recommends approval of the Class 6b property tax classification with special circumstances and with substantial rehabilitation.

As additional background, a listing of past Class 6b applications approved by the Village Board is attached.

Please place this item on the Village Board agenda for November 21, 2016. Thank you.

Village of Wheeling
List of Class 6B Property Tax Incentive Applicants
As of 11/16/2016

| | APPLICANT | ADDRESS | LOT SIZE (sq.ft.) | BLDG SIZE (sq.ft.) | # OF EMP.* | DATE 6(B) GRANTED | EST. COST OF CONST/REHAB** |
|------------------------------|-----------------------------|------------------------|----------------------|-----------------------|---------------|----------------------|-------------------------------|
| APPLICATIONS APPROVED | | | | | | | |
| 1 | Spectrum Manuf. | 140-180 E. Hintz | 119,050 | 24,000 | 60 | 04/07/86 | \$1,100,000 |
| 2 | Indeck Power Equip. | 1111 S. Willis | 330,000 | 99,000 | 20 | 10/06/86 | 1,750,000 |
| 3 | Elenco Electronics | 150 W. Carpenter | 60,150 | 24,250 | 15 | 10/06/86 | 790,000 |
| 4 | Spectra Tool | 652-724 Chaddick | 130,475 | 38,000 | 22 | 11/03/86 | 1,000,000 |
| 5 | Quintel, Inc. | 44 Century Dr. | 82,474 | 30,000 | 40 | 11/03/86 | 1,000,000 |
| 6 | John Remke, Inc. | Chaddick Dr | 50,000 | 13,750 | 23 | 05/18/87 | 700,000 |
| 7 | Fire Control | 255 Alderman | 52,400 | 18,830 | 17 | 05/18/87 | 700,000 |
| 8 | Faucet Queens | 550 Palwaukee | 67,500 | 17,900 | 12 | 05/18/87 | 770,000 |
| 9 | Bridgestone | Century Dr | 40,260 | 21,000 | 7 | 05/18/87 | 385,000 |
| 10 | Graphic Products | S. Wolf Rd | 190,754 | 52,950 | 48 | 07/06/87 | 1,600,000 |
| 11 | A & M Tool Co., Inc. | Chaddick Dr | 76,200 | 20,290 | 30 | 09/08/87 | 770,000 |
| 12 | Edgar A. Weber | Palwaukee Dr | 137,260 | 28,600 | 28 | 09/21/87 | 1,100,000 |
| 13 | Clearshield Nat'l. | Peterson/Marquardt | 369,800 | 80,000 | 65 | 10/19/87 | 2,000,000 |
| 14 | Waldmann Lighting Co. | Century Dr | 101,000 | 12,000 | 12 | 12/07/87 | 500,000 |
| 15 | Ron Lemmon/Cano | Alderman Ave | 44,000 | 18,000 | 25 | 01/18/88 | 570,000 |
| 16 | Tool King, Inc. | 275 Larkin Dr | 45,700 | 12,645 | 20 | 01/18/88 | 575,000 |
| 17 | Mercury Stainless | 475 Allendale | 188,000 | 84,400 | 9 | 02/16/88 | 5,500,000 |
| 18 | Smalley Steel Ring | Gilman at Wheeling Rd | 189,500 | 57,000 | 10 | 03/21/88 | 2,250,000 |
| 19 | Victory Machinery | Egidi Dr | 36,400 | 10,200 | 4 | 09/06/88 | 355,000 |
| 20 | ENSAR Corp. | 135 E. Hintz | 195,600 | 88,500 | 50 | 11/07/88 | 1,600,000 |
| 21 | Crescent Cardboard | 100 W Willow | 96,600 | 43,000 | 6 | 11/21/88 | 1,505,000 |
| 22 | G&Z Industries, Inc. | Chaddick Drive | 88,050 | 30,223 | 47 | 05/15/89 | 855,000 |
| 24 | Engis Corporation | 133 W Hintz Rd | 385,000 | 65,950 | 120 | 07/17/89 | 4,600,000 |
| 23 | R.S. Anderson | Wolf/Hintz Rd | 201,465 | 26,000 | 50 | 10/02/89 | 2,900,000 |
| 25 | Dearborn Wire&Cable | 250 Carpenter | 356,540 | 52,000 | 50 | 09/04/90 | 1,600,000 |
| 26 | Faucet Queens II | Chaddick Dr | 110,468 | 33,830 | 6 | 09/04/90 | 1,450,776 |
| 27 | Autoblok Corp | 251 Egidi | 74,394 | 15,145 | 4 | 04/01/91 | 700,000 |
| 28 | Segerdahl Corp. | 1351 S Wheeling Rd | 616,239 | 38,900 | 5 | 04/20/92 | 1,200,000 |
| 29 | A & M Tool II | 450 Chaddick | 76,200 | 5,667 | 4 | 02/16/93 | 300,000 |
| 30 | Sauk Machine Works | 5 Waltz Dr | 42,374 | 16,030 | 20 | 08/16/93 | 480,000 |
| 31 | Tool King II | 275 Larkin Dr | 80,173 | 15,000 | 5 | 07/19/93 | 300,000 |
| 32 | Smalley Steel Ring II | 385 Gilman Ave | 270,090 | 42,686 | 20 | 02/22/94 | 1,710,400 |
| 33 | ADC LP (Anderson Die) | 1720 S Wolf Rd | 143,000 | 19,500 | 20 | 09/19/94 | 460,000 |
| 34 | Segerdahl Corp II | 1351 S Wheeling Rd | 616,239 | 14,000 | 15 | 12/05/94 | 1,500,000 |
| 35 | Video Technologies Inc. | 101 E Palatine Rd | 355,450 | 97,928 | 10 | 12/05/94 | 2,500,000 |
| 36 | Fluid Power Industries | 511 Glenn Ave | 194,278 | 15,000 | 25 | 12/19/94 | 2,000,000 |
| 37 | Handi-Foil Corp/HFA Inc. II | 135 E Hintz Rd | 199,633 | 95,625 | 40 | 06/05/95 | 3,000,000 |
| 38 | Ron Lemmon/CANO II | 448 Mercantile | 105,500 | 48,000 | 15 | 09/05/95 | 400,000 |
| 39 | Inland Die Casting | 161 Carpenter | 112,089 | 13,629 | 25 | 12/04/95 | 760,344 |
| 40 | Skokie Valley Beverage | 199 Shepard | 214,291 | 29,000 | 10 | 04/01/96 | 1,196,511 |
| 41 | Plaza Tool & Mold Co. | Century Dr | 20,000 | 5,000 | 6 | 07/01/96 | 333,070 |
| 42 | Peer International Corp. | 77 W Hintz Rd | 418,575 | 159,000 | 50 | 10/21/96 | 5,000,000 |
| 43 | Howlan Inc. | Northgate/Quail Hollow | 84,337 | 31,137 | 25 | 06/02/97 | 1,400,000 |
| 44 | Prototype & Production | 130 W Carpenter | 60,160 | 15,000 | 18 | 06/16/97 | 900,000 |
| 45 | Genender II (Quintel) | 44 Century Dr | 68,629 | 34,302 | 10 | 09/15/97 | 1,180,000 |
| 46 | Transcell Technology | Waltz Dr | 43,368 | 14,625 | 18 | 12/15/97 | 1,050,000 |
| 47 | Wieland Metal | 567 Northgate | 822,739 | 126,670 | 61 | 12/15/97 | 38,321,000 |
| 48 | Suburban Surgical | 275 12th St | 147,000 | 90,000 | 30 | 08/17/98 | 2,475,224 |
| 49 | Inland Die Casting II | 161 Carpenter | 216,719 | 20,000 | 105 | 06/21/99 | 1,173,480 |
| 50 | Tandem Metals | 581 S Wheeling Rd | 117,000 | 33,000 | 40 | 08/07/00 | 1,200,000 |
| 51 | Sauk Machine II | 5 Waltz Dr/10 W Hintz | 43,368 | 20,000 | 50 | 05/14/01 | 650,000 |
| 52 | Fresh N Go | 7150 Capitol Dr | 91,476 | 34,653 | 80 | 08/27/01 | 1,529,000 |
| 53 | North American Signal | 605 S Wheeling Rd | 98,729 | 20,022 | 60 | 12/03/01 | 1,374,775 |
| 54 | FedEx Ground Package Sys | 1444 S Wolf Rd | 511,830 | 96,576 | 263 | 08/12/02 | 8,500,000 |

Village of Wheeling
 List of Class 6B Property Tax Incentive Applicants
 As of 11/16/2016

| | APPLICANT | ADDRESS | LOT SIZE (sq.ft.) | BLDG SIZE (sq.ft.) | # OF EMP.* | DATE 6(B) GRANTED | EST. COST OF CONST/REHAB** |
|---------------------|------------------------------|--------------------|----------------------|-----------------------|---------------|----------------------|-------------------------------|
| APPLICATIONS DENIED | | | | | | Date Denied | |
| 1 | Litho-Tronics, Inc. | Chaddick Dr | 37,720 | 12,000 | 6 | 04/27/87 | \$470,000 |
| 2 | Beatrice Home Spec. | Northgate Pkwy | 617,850 | 250,000 | 298 | 08/03/87 | \$4,850,000 |
| 3 | Three J's Ind. Inc. | 725 S Glenn | 39,198 | 11,875 | 16 | 11/20/89 | \$560,000 |
| 4 | Mau/Circuit Service | 333 Alice | 56,250 | 22,983 | 85 | 05/20/91 | \$0 |
| 5 | FedEx Ground: Expansion | 1444 S. Wolf Road | | 15,840 | 6 | 10/09/06 | \$4,500,000 |
| 6 | Suburban Surgical: Extension | 275 Twelfth Street | 147,000 | 90,000 | 30 | 02/03/10 | \$0 |
| | | | | | | | |
| | TOTAL | | | 402,698 | 441 | | \$10,380,000 |

VILLAGE OF WHEELING
NOTICE OF PUBLIC HEARING

Please be advised that a Public Hearing will be conducted by the President and Board of Trustees of the Village of Wheeling on November 21, 2016, at 6:30 p.m. in the Council Chambers of the Village of Wheeling, 2 Community Boulevard, Wheeling, Illinois, on the application of 511 Glenn, LLC or its Assignee to receive Village approval of a Cook County Class 6B property tax exemption for occupation of abandoned property with a purchase for value, special circumstances, and substantial rehabilitation at 511 Glenn Avenue in Wheeling, IL, legally described as:

LEGAL DESCRIPTION

Parcel 1: LOTS 1, 2, AND 3 IN BLOCK 5 IN AMERILINE SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

Parcel 2: LOTS 39 AND 40 IN PALWAUKEE BUSINESS CENTER UNIT TWO, BEING A SUBDIVISION IN THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

Parcel 3: LOTS 67 AND 68 IN PALWAUKEE BUSINESS CENTER UNIT THREE, BEING A SUBDIVISION IN THE SOUTHEAST 1/4 OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO PLAT RECORDED SEPTEMBER 11, 1986 AS DOCUMENT NUMBER 86408080, IN COOK COUNTY, ILLINOIS.

PIN NUMBERS

03-11-303-026-0000; 03-11-410-001-0000; 03-11-410-002-0000;
03-11-410-013-0000; 03-11-410-014-0000

All written and oral comments from other taxing agencies and citizens of the Village of Wheeling are welcome and will be entered into the record of the proceedings.

John Melaniphy
Director of Economic Development

TO BE PUBLISHED IN THE DAILY HERALD no later than November 11, 2016.

RESOLUTION 16 - _____

**A RESOLUTION CONSENTING TO A COOK COUNTY CLASS 6b
REAL ESTATE TAX ASSESSMENT CLASSIFICATION
FOR THE PROPERTIES LOCATED AT
511 GLENN AVENUE
IN THE VILLAGE OF WHEELING, ILLINOIS**

WHEREAS, the Village of Wheeling (the “Village”) desires to promote and preserve industrial uses in the Village; and

WHEREAS, the Cook County Assessor is operating under the Cook County Real Property Classification Ordinance (the “Ordinance”) enacted by the Cook County Board of Commissioners, as amended from time to time, which provides industrial property owners, in certain cases, with a reduction in the assessed valuation of an industrial facility, in order to induce companies to locate or remain in Cook County; and

WHEREAS, 511 Glenn, LLC or its assignee (the “Petitioner”) has applied, or is applying, for a Class 6b Classification under the Ordinance, and has proven to the President and Board of Trustees of the Village (the “Village Board”) that such Class 6b Classification is necessary to encourage occupancy of the specific real estate identified below (the “Subject Property”); and

WHEREAS, the Village Board supports and consents to the filing of a Class 6b Classification application by the Petitioner, with the understanding that any occupant of the Subject Property must meet the Class 6b Classification qualifications for industrial warehousing, manufacturing and/or distribution uses; and

WHEREAS, in the case of abandoned property which has been vacant and unused for less than twenty-four (24) months, if the Village Board finds that special circumstances qualify the property as “abandoned” for the purpose of the Class 6b Classification, that finding, along with the specifics of the circumstances supporting said finding, shall be included in the resolution or ordinance supporting and consenting to the Class 6b Classification; and

WHEREAS, the Village Board has determined that the granting of a Class 6b Classification to the Petitioner, for the Subject Property, would be beneficial to the Village;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the request of the Petitioner to have the Subject Property declared eligible for Class 6b Classification under the Ordinance, is hereby granted, in that the Village Board has determined that the incentive provided by the said Class 6b Classification is necessary for the occupancy of the Subject Property to occur.

BE IT FURTHER RESOLVED, that the Village Board finds that the Subject Property qualifies for purposes of the Class 6b Classification, and consents to the Subject Property being designated under the Class 6b Classification by the Cook County Assessor; with a copy of the Class 6b Classification application of the Petitioner, based on special circumstances and with substantial rehabilitation as outlined by the Petitioner in said application, being attached hereto as Exhibit A and made a part hereof.

BE IT FURTHER RESOLVED that the Village Board hereby supports, consents to and approves the Class 6b Classification for the Subject Property, pursuant to the Ordinance; said Subject Property being described as follows:

LEGAL DESCRIPTION:

Parcel 1: LOTS 1, 2, AND 3 IN BLOCK 5 IN AMERILINE SUBDIVISION OF PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

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PIN(s): 03-11-303-026-0000; 03-11-410-001-0000; 03-11-410-002-0000;
03-11-410-013-0000; 03-11-410-014-0000

COMMON ADDRESS: 511 Glenn Avenue, Wheeling, Illinois 60090

BE IT FURTHER RESOLVED that the Village Clerk is hereby authorized and directed to forward a certified copy of this Resolution to the Office of the Cook County Assessor.

Trustee _____ moved, seconded by Trustee _____, that

Resolution No. 16- _____ be adopted.

President Argiris _____

Trustee Brady _____

Trustee Lang _____

Trustee Papantos _____

Trustee Vito _____

Trustee Krueger _____

Trustee Vogel _____

ADOPTED this _____ day of _____, 2016, by the President and

Board of Trustees of the Village of Wheeling, Illinois, pursuant to a roll call vote as provided by law.

Dean S. Argiris, Village President

ATTEST:

Elaine E. Simpson, Village Clerk

EXHIBIT A

Class 6B Application

Class 6B Application

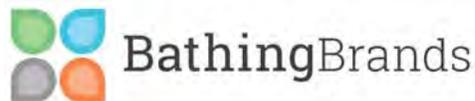
Prepared For
Village of Wheeling, IL
Department of Economic Development

Parcel Number(s)
03-11-303-026-0000
03-11-410-001-0000
03-11-410-002-0000
03-11-410-013-0000
03-11-410-014-0000

Property Reference / Location
511 Glenn Avenue
Wheeling, IL 60090

Prepared By
Dan Valin
Operations Manager
Bathing Brands, Inc.
dba: Accurate Industries
441 Carpenter Avenue
Wheeling, IL 60090
(847) 465-8990 ext. 113
dvalin@accurateindustries.com

November 7, 2016



Property Description

Property Type:
Year Built:

Industrial
1971

Size:
Improvement:
Land:

56,810 SF
187,452 SF



Bathing Brands

Dan Valin

Operations Manager
Bathing Brands, Inc.
Dbas: Accurate Industries
441 Carpenter Avenue
Wheeling, IL 60090
(847) 465-8990 ext. 113
dvalin@accurateindustries.com

November 7, 2016

Dru Garcia
Village of Wheeling
2 Community Boulevard
Wheeling, IL 60090

**RE: Class 6B Resolution Request
511 Glenn, LLC
511 Glenn Avenue
Wheeling, Illinois 60090
PIN's: 03-11-303-026-0000, 03-11-41-013-0000,
03-11-410-001-0000, 03-11-410-014-0000, 03-11-410-02-0000**

Dear Dru:

The prospective purchaser, 511 Glenn LLC (the "Applicant") plans to purchase the above referenced property and is requesting a Resolution from the Village of Wheeling supporting and consenting to a Class 6B Tax Incentive for the subject property based on occupation of abandoned property for less than twenty-four (24) months continuous vacancy with a purchase for value, special circumstances and substantial rehabilitation. The Applicant plans to rent the subject property to Bathing Brands (Dbas: Accurate Industries) a company that specializes in bathing environments (steam and sauna environments) which has internet sales & distribution nationally, design / build / assembly / installation of custom bathing environments nationally, and service of equipment to health clubs, hotels & spas, and residential customers not only throughout the state of Illinois but nationally as well.

Because the property has been vacant for less than twenty-four (24) continuous months with a purchase to value, the Applicant will be seeking a Class 6B Tax Incentive with special circumstances. Please see Exhibit M for special circumstances.

As of today, the 56,810 square foot building located on approximately 187,452 square foot site is in need of substantial repairs, renovation, and rehabilitation. The property has not been fully utilized for most of 2015 and all of 2016 and has been completely vacated as of September 30, 2016. The property has fallen into poor condition due to deferred maintenance and neglect.

In order to bring the property up to acceptable occupancy standards for Bathing Brands / Accurate Industries, the Applicant has agreed to invest approximately \$768,480.00 over the course of 2016 and 2017 to bring the property up to acceptable occupancy standards in order for Bathing Brands / Accurate Industries to conduct and successfully grow their business in the Village of Wheeling. The work will include but not be limited to:

1. Replace / repair HVAC units (including roof top units), water heaters
2. Replace deteriorated brick, tuck point, waterproof entire building
3. Replace exterior doors and windows
4. Replace / repave asphalt parking lots and driveways

5. Replace concrete parking and driveway pads in front of building
6. Replace broken drain lines
7. Demolition of interior walls, reconfigure for leaser's specifications
8. Repair / paint all interior walls including warehouse
9. Demolition of existing flooring, replace new carpeting & tile
10. Renovate lunch room, bathrooms, common areas
11. Replace dead / overgrown landscaping with updated landscaping
12. Construct wood shop w/ cyclone dust collection system
13. Construct photo / video room for marketing & design group
14. Install energy efficient lighting and sound deadening in office areas

In support of the above, I am enclosing the Village of Wheeling Class 6B Application, the Cook County Class 6B Eligibility Application, and a \$950.00 filing fee along with the list of Exhibits mentioned on the following page.

A letter from Mr. David Sadowski, prospective purchaser (the "Applicant") 511 Glenn, LLC, and President / Owner of Bathing Brands, Inc. (Db: Accurate Industries) is attached for your review and is supporting the importance of the Class 6B Resolution Request.

While the work we plan to do will span the course of the next one to two years to complete, we would like to invite the Village Board to an open house once we have completed our improvements. We would be honored to give you a tour of our rehabilitated facility and give you a chance to meet our team in Wheeling!

Thank you for your consideration to this matter and if you have any questions or require additional information please contact me at (847) 465-8990 ext. 113

Sincerely,

Dan Valin
Operations Manager



David Sadowski

President
Bathing Brands, Inc.
Dba: Accurate Industries
441 Carpenter Avenue
Wheeling, IL 60090
(847) 465-8990
dsadowski@accurateindustries.com

November 7, 2016

I am submitting to you and the Village of Wheeling our application for 6B tax relief at a property that is under contract by 511 Glenn LLC (the "Applicant") at 511 Glenn Avenue. Bathing Brands, Inc., DBA Accurate Industries has been located in the Village of Wheeling for the last fifteen years and we would be honored to remain here for many more successful years to come.

Bathing Brands specializes in the design, supply, creation and repair of experiential bathing equipment and environments (extraordinary showers, steam rooms, etc.). Originating as a specialty steam and sauna bath supplier in the city of Chicago over 45-years ago, we moved to 441 Carpenter Avenue (Wheeling) in 2001 to study the market and hone our craft in larger quarters. Fifteen years of research and dedication has us now prepared for the national scene, and to accomplish our mission, we require a significantly larger building. It is our desire to continue our evolution in the Village of Wheeling; however, the available buildings, meeting our size requirements in the current Wheeling market, have proven cost prohibitive.

As you know, we have been looking for a property for quite some time, Dru. Recently, we have found a space in Wheeling that could satisfy our needs and have a contract to purchase the 511 Glenn Avenue building but subject to 6B success.

511 Glenn was occupied by Hawk Electronics. Hawk Electronics' business model has dramatically changed...and not unlike so many other electronics companies, their business has been transferred over-seas. The owner-occupied Hawk was no longer able to sustain their building costs and had to move and put the property up for sale. Admittedly, they have neglected the building exterior since they took ownership of the space. Their neglect has made the building much less-marketable without deep price concessions and some type of monetary relief....hence our outreach to you, Dru.

We have negotiated hard with Hawk...but their hands are tied as they are in a tough economic position and subject to some serious bank constraints. Despite our seemingly attractive contract price, the exterior neglect and our interior needs make this deal unimaginable without 6B tax relief. We are now appealing to the village and county to help our company make the next move to fulfill our mission in the village of Wheeling.

Bathing Brands is a unique company, Dru. Our objective is to unite the home, spa and club bathing nation with products and services that expand and grow their involvement in experiential bathing. Through keen awareness, we are dedicated to this mission because of our belief that experiential bathing is a pathway to the soul and the invaluable inward reflection (awareness) that can enable a life of greater fulfillment and wellness.

Bathing Brands reaches out to audiences including homeowners, architects, custom home builders, plumbers, wellness centers, hotels, day spas, designers, bathroom & basement remodelers and bathers throughout the United States. We do so to maintain our awareness of the unique and individual needs of each market segment and to ensure our comprehensive and unified impact on experiential bathing.

Bathing Brands is a subchapter-S corporation and is dedicated to the creation of distinct brands aimed at serving most all market segments and product categories required for bathing advancement. Bathing Brands currently markets SteamSaunaBath, Accurate Industries and Bathology...each uniquely positioned to serve segments of the marketplace.

Currently, we are 35 teammates strong and our plan has us operating with 73 teammates in 2023. To do so, we require a unique industrial building that is sufficiently large to house our uncommon office staff, inventory items and light assembly needs. The facility at 511 Glenn Avenue could be such a space. To do so, we would remedy the exterior neglect over a two-year plan afforded by 6B tax savings (improvements to the concrete, asphalt, landscape and building brick fascia). Additionally, we would be ensuring the interior needs with improvements such as training and product education centers in addition to our customer service and assembly areas.

You probably didn't know this Dru, but the Village of Wheeling has the nation's largest steam and sauna bath supply and service company. We maintain most every commercial bathing space in the area and serve over 6000 local home bathers. Slowly, we have made our brand known on the national stage and the demand is strong. We have served over 30,000 home bathers nationwide since our arrival in Wheeling...and thousands of spa & health club bathing environments. Soon, Bathing Brands will be the most influential national bathing brand...and Wheeling will be synonymous with amazing bathing...and can boast of its part in helping us deliver life-changing bathing environments!

Please consider this our formal request for 6B consideration in the procurement of 511 Glenn Avenue which is under purchase contract subject to 6B acceptance. Our application is attached.

Thank you for your time, support and consideration, Dru.

Sincerely,

David Sadowski
President

VILLAGE OF WHEELING - CLASS 6B APPLICATION

This original, signed application, complete with all supporting documents and the application fee, must be filed to be considered for Village approval. Please type or print clearly.

COVER LETTER:

Please provide a cover letter describing the applicant's background, property condition, and the applicant's plans for the property, including any plans for improvement or expansion. The narrative should also describe the industrial user's operations, current employment and future employment projections, and any projected benefits to the community if the incentive should be granted.

APPLICANT INFORMATION:

Name: 511 Glenn, LLC - David Sadowski Phone: (847) 465-8990

Address: 441 Carpenter Avenue, Wheeling IL 60090

Agent/Representative (if applicable):

Name: _____ Phone: () _____

Address: _____

DESCRIPTION OF SUBJECT PROPERTY:

Street Address: 511 Glenn Avenue, Wheeling IL

Permanent Real Estate Index Number(s):

03-11-303-026-0000 03-11-410-001-0000 03-11-410-002-0000

03-11-410-013-0000 03-11-410-014-0000

Attach following: Legal Description (Exhibit A)
 Site Dimension & Square Footage/Plat (Exhibit B)
 Building Dimensions/Site Plan (Exhibit C)

IDENTIFICATION OF PERSONS OR ENTITIES HAVING AN INTEREST:

Attach (as Exhibit D) a complete list of all legal owners, developers, occupants and other interested parties (including all beneficial owners of a corporation, limited liability company and/or land trust), identified by names and addresses, having an interest in the subject property and the proposed user and the nature and extent of this interest.

PROPERTY USE:

1. Attach a description of the precise nature and extent of the industrial use of the subject property (Exhibit E). Specify, where applicable, the amount/percentage of floor area devoted to manufacturing, other industrial, and non-industrial uses.

2. Current zoning of property: I3 (building). If zoning amendments, variations, and/or other zoning relief will be required relative to the proposed plans for improvement or expansion, specify proposed amendment(s), variation(s) and/or other zoning relief that will be sought:

3. Impact of pollution if property is developed as proposed. Specify pollutants in reference to the following types (Exhibit F):

- A. Water/type of effluent
- B. Air borne contaminants
- C. Toxic substances
- D. Odor
- E. Glare
- F. Noise

4. List properties researched as possible alternative locations for proposed facility (Exhibit G).

5. Traffic: Projected number of vehicles entering and leaving the subject property per day:

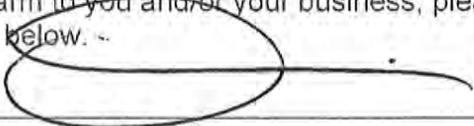
Automobiles 35-75 Trucks 10-12

EVIDENCE OF NEW CONSTRUCTION, SUBSTANTIAL REHABILITATION OR REUTILIZATION OF ABANDONED PROPERTY:

For all applications:

- Real Estate Contract (Exhibit H): attach a copy of the executed Real Estate Contract for the subject property.

If you are furnishing the contract requested under a claim that said information is proprietary, privileged and/or confidential, and that disclosure thereof would cause competitive harm to you and/or your business, please check here , and sign and date below. ~

By:  _____

Title: Owner

Name: David Sadowski

Date: 11 / 7 / 2016

By adding the foregoing, the financial information that is supplied will be exempt from disclosure, in the face of a FOIA request, pursuant to 5 ILCS 140/7(1)(g).

- Copies of most recent three (3) years' property tax bills for the existing property (Exhibit I).

For new construction and rehabilitation:

- Architectural plans or schematic drawings (Exhibit J)
- Dates or estimated dates of construction commencement and completion:

December 1, 2016 - June 30, 2017

- Description of total cost (including land) and extent of new construction or substantial rehabilitation (Exhibit K)

For reutilization of abandoned property:

- Duration of abandonment: include affidavits of abandonment, records from utility companies, Internal Revenue Service statements, court records, etc. (Exhibit L)
- Abandoned or vacant buildings – In addition to the requirements of Cook County as to the definition of such buildings, the applicant may provide documentation, and the Village Board may wish to consider, if any combination of the factors noted in Appendix A exist.

These criteria may be used to determine if "special circumstances" exist which warrant the granting of a 6B classification in instances where the building has been abandoned for fewer than twenty-five (25) months. (Exhibit M)

EMPLOYMENT OPPORTUNITIES:

Attach estimates of the following employment information (Exhibit N):

- Temporary employment positions (employed in construction).
- Permanent employment, both full-time and part-time, that will occur at the facility upon occupation. Differentiate between current employees, if any, which will be transferred from the applicant's existing facility or facilities and new employment positions that will be created.
- Projected employment in three, five, and ten years after the subject property is occupied.

FINANCIAL INFORMATION:

Attach the applicant's audited financial statements for the previous three (3) years (Exhibit O). In addition, attach the most current profit/loss statement of the applicant.

If you are furnishing the financial information requested under a claim that said information is proprietary, privileged and/or confidential, and that disclosure thereof would cause competitive harm to you and/or your business, please check here and sign and date below.

By: 

Title: Owner

Name: David Sadowski

Date: 11 / 7 / 2016

By adding the foregoing, the financial information that is supplied will be exempt from disclosure, in the face of a FOIA request, pursuant to 5 ILCS 140/7(1)(g).

Please note: If the Village determines that an independent financial analysis is required, the consulting fees associated with the analysis shall be borne by the applicant as an additional charge, and shall be paid to the Village prior to the Village Board taking any action on the approval Resolution.

FISCAL EFFECT:

Report the projected fiscal impact that the proposed facility will have on the Village (Exhibit P). In the projection, provide a comparison of the property taxes for the following scenarios:

- 1) The subject property is fully occupied and receives no incentive;
- 2) The subject property is occupied and receives the Class 6B;
- 3) The subject property remains vacant and receives vacancy relief.

Also in this exhibit, include a description of sales tax generation and any other State and/or local revenues that are anticipated to be generated.

OTHER INDUCEMENTS:

State and describe whether any other financial inducements, such as industrial development revenue bonds, tax increment financing, State grants, etc., are anticipated to be sought or required by the applicant (Exhibit Q).

JUSTIFICATION:

Please present your reasons for applying for the Class 6B (Exhibit R). It is the position of the Village that valid reasons, and a demonstration that the project will not proceed without the Class 6B, are required to receive Village approval for the reclassification.

TAX RATE AGREEMENT:

All applicants must complete the Tax Rate Agreement (attached) and submit the executed copy with the original Village Class 6B application.

CERTIFICATION:

I hereby certify that the preceding application and all attachments are true and correct.

Signature

11/7/2016

Date

David Sadowski, Owner

Name & Title

APPENDIX A

EXPLANATION OF CRITERIA FOR REUTILIZATION OF ABANDONED PROPERTY

1. AGE - Structure(s) more than 35 years old.
2. OBSOLESCENCE - The condition of falling into disuse because of characteristics limiting the use and marketability of structures; persistent or chronic market rejection.
3. DETERIORATION - Physical deficiencies or disrepair in buildings or site improvements requiring treatment or repair beyond normal maintenance.
4. LACK OF VENTILATION, LIGHT, OR SANITARY FACILITIES - Structures that fail to provide adequate ventilation, light, or sanitary facilities as required by local building codes.
5. INADEQUATE UTILITIES - Underground and overhead utilities which are of insufficient capacity to serve the project; deteriorated, antiquated, obsolete, or in disrepair.
6. EXCESSIVE COVERAGE - Ratio of floor area to lot area in excess of zoning standards.
7. DELETERIOUS LAND USE - Incompatible land use relationships or uses which may be considered noxious, offensive, or environmentally unsuitable.
8. DEPRECIATION OF MAINTENANCE - The effects of deferred maintenance and the lack of maintenance of buildings, improvements, and grounds.
9. ILLEGAL USE OF INDIVIDUAL STRUCTURES
10. PRESENCE OF STRUCTURES BELOW MINIMUM CODE STANDARDS
11. DETRIMENTAL TO THE PUBLIC SAFETY, HEALTH, MORALS OR WELFARE
12. APPLICANT DESIRES TO RENOVATE OR REHABILITATE THE BUILDING

Permanent Index Number(s)

03-11-303-026-0000

03-11-410-001-0000

03-11-410-002-0000

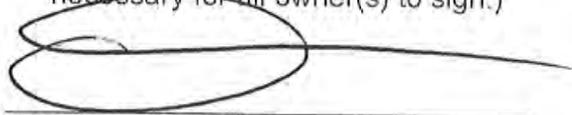
03-11-410-013-0000

03-11-410-014-0000

(hereinafter known as the "Subject Property").

2. The Applicant shall dismiss or cause to be dismissed, with prejudice, all outstanding tax rate objections against the Village relative to the Subject Property.
3. The Applicant shall not file or cause to be filed an objection to the tax rate of the Village or other taxing district relative to the Subject Property for any tax period during which the Applicant is receiving a Cook County Class 6B property tax incentive for the Subject Property.
4. All rights, title and privileges herein granted, including all benefits and burdens, shall run with the land and shall be binding upon and inure to the benefit of the Applicant and the Village and, hereto, their respective grantees, successors, assigns and legal representatives.
5. The Village may enforce any and all covenants, conditions, restrictions and agreements contained herein by judicial action, including mandatory or prohibitory injunction. In the event the Village is forced to enforce any terms or condition of this Agreement, the Applicant shall pay all costs of any such enforcement action, including the Village's reasonable attorney fees and costs of litigation.
6. Upon the granting of the Class 6B classification relative to the subject property, this Agreement shall be recorded by the Village at the Applicant's expense.

7. If the Applicant is not the Owner of Record of the Subject Property, the Owner of Record shall execute this Agreement, thereby acknowledging the Owner of Record's consent to and agreement with the foregoing. (Attach a separate sheet if necessary for all owner(s) to sign.)



(Owner Signature)

David Sadowski

(Name)

Owner

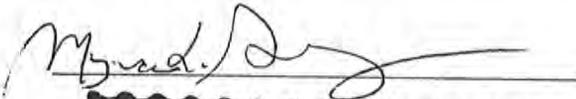
(Title)

(Owner Signature)

(Name)

(Title)

ATTEST (Notary):





ATTEST (Notary):

VILLAGE OF WHEELING

(Applicant)

(President)

By: _____
Authorized Agent (Name)

(Name)

(Title)

ATTEST (Notary):

ATTEST (Notary):

Exhibit List

| | |
|--------------|---|
| Exhibit A | Legal Description |
| Exhibit B, C | Site Dimension, Square Footage / Plat, Building Dimensions |
| Exhibit D | Name and Address of Legal Owner, Occupant(s) |
| Exhibit E | Description of the Nature / Extent of Industrial Use; Amount / Percentage of Floor Area Devoted to Manufacturing, Other Industrial, and Non-Industrial Uses |
| Exhibit F | Pollution Impact |
| Exhibit G | Potential Alternative Properties |
| Exhibit H | Real Estate Contract |
| Exhibit I | Past Tax Bills |
| Exhibit J | Architectural Plans or Schematic Drawings |
| Exhibit K | Description of Total Cost and Extent of New Construction or Substantial Rehabilitation |
| Exhibit L | Duration of Vacancy |
| Exhibit M | Special Circumstances |
| Exhibit N | Employment Projections |
| Exhibit O | Financial Statements |
| Exhibit P | Fiscal Effect |
| Exhibit Q | Other Inducements |
| Exhibit R | Justification for Approval of 6B |

Exhibit A

Legal Description

Parcel 1:

Lots 1, 2, and 3 in block 5 in Amerline Subdivision of part of the east 1/2 of the southwest 1/4 of section 11, township 42 north range 11, east of the third principal meridian, in Cook County, Illinois.

Parcel 2:

Lots 39 and 40 in Palwaukee Business Center unit two, being a subdivision in the southeast 1/4 of section 11, township 42 north range 11, east of the third principal meridian, in Cook County, Illinois.

Parcel 3:

Lots 67 and 68 in Palwaukee Business Center unit three, being a subdivision in the southeast 1/4 of section 11, township 42 north range 11, east of the third principal meridian, according to plat recorded September 11, 1986 as document number 86408080, in Cook County, Illinois.

PIN Numbers: 03-11-303-026-0000
03-11-410-001-0000
03-11-410-002-0000
03-11-410-013-0000
03-11-410-014-0000

Commonly known as: 511 Glenn Avenue, Wheeling, Illinois 60090

Exhibit B, C

Site Dimension, Square Footage / Plat, Building Dimensions

(Attached – Next Page)

Exhibit D

Name and Address of Legal Owner and Occupant(s)

Owner: 511 Glenn LLC
David Sadowski
441 Carpenter Avenue
Wheeling, Illinois 60090
(847) 465-8990
dsadowski@accurateindustries.com

Occupants: **Prospective Tenant**
David Sadowski, President / Owner
Bathing Brands, Inc.
Dbas: Accurate Industries
Dbas: Steam Sauna Bath
Dbas: Bathology
511 Glenn Avenue
Wheeling, Illinois 60090
(847) 465-8990

Exhibit E

Description of the Nature / Extent of Industrial Use; Amount / Percentage of Floor Area Devoted to Manufacturing, Other Industrial, and Non-Industrial Uses

The prospective tenant, Bathing Brands / Accurate Industries is a retail internet distributor, design / build / installer of custom bathing spaces, and service provider for health clubs, hotels & spas, as well as residential customers. They will assemble sauna environments made to customer specifications which require the final cutting, shaping, and assembly of the wood benching, bench skirts, tongue & groove, and guardrails. These processes require the use of table and miter saws, sanding equipment, and drills. There are no chemicals or toxins used in these processes. Woods used are: cedar, pine, alder, and hemlock. A cyclone dust collection system is used to capture dust and particulate matter from the processes.

They also assemble parts and components into finished product ready to be sold either retail (internet sales), or locally by our service technicians. Examples of some of the kitted / assembled products are: complete fan / exhaust systems, complete lighting, and aroma systems for the bathing environments. These processes do not create any by-product, waste, or pollutants.

Breakdown of floor area:

| | | |
|---|-----------|------|
| 1. Office, showroom, common areas | 18,359 SF | 32% |
| 2. Assembly / kitting / service areas | 6,000 SF | 11% |
| 3. Warehouse, shipping, receiving areas | 32,451 SF | 57% |
| Total Floor Space | 56,810 SF | 100% |

Exhibit F

Pollution Impact

The Prospective Tenant, Bathing Brands / Accurate Industries are a retail, distribution, service, and design / assembler / installer of custom bathing spaces, so the effects of pollution will be minimal. They do not manufacture materials; they take parts, components, and lengths of lumber and assemble them into their final product.

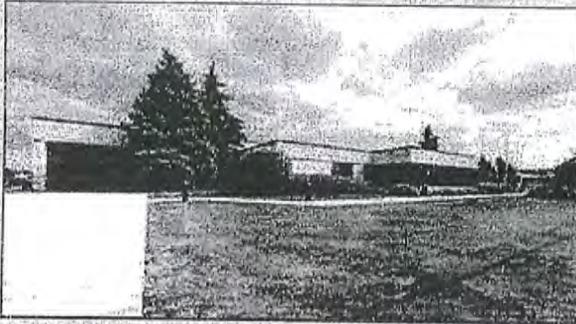
The breakdown of the pollution impact is as follows:

1. Water / type of effluent – none. There is no water needed in the assembly / kitting processes used.
2. Air borne contaminants – minimal. In the assembly process of the sauna environments great lengths are taken to capture dust and particulate matter by utilizing (and maintaining) a cyclone dust collection system in a contained wood shop. Minimal cutting and sanding takes place, boards are just trimmed to final measurements.
3. Toxic substances – none. In the assembly / kitting processes no toxic chemicals, substances, or fluids are used.
4. Odor – none.
5. Glare – none.
6. Noise – Minimal. Hours of operation are from 7:00 am to 5:00 pm and the fleet of service vehicles will be started and pulled to their assigned loading areas. The service vehicles leave the facility by 8:00 am. Forklift operation will be within the building 99% of the time. Operation of the woodshop will be during the course of normal operating hours but it is doubtful any noise from the shop will be heard outside of the building.

Exhibit G

Potential Alternative Properties

- 1 1019 Noel Avenue
Wheeling, Illinois 60090
- 2 351-355 Hastings Drive
Buffalo Grove, Illinois 60089
- 3 720 Dartmouth Lane
Buffalo Grove, Illinois 60089
- 4 2500-2550 Millbrook Drive
Buffalo Grove, Illinois 60089
- 5 300 E Main Street
Lake Zurich, Illinois 60047

1019 Noel Ave**SOLD****Wheeling, IL 60090**Sale on 1/12/2016 for \$1,600,000 (\$26.56/SF) - Research Complete
60,234 SF Class B Manufacturing Building Built in 1975, Renov Jan 2016**Buyer & Seller Contact Info**

Recorded Buyer: **VK 1019 Noel LLC**
 True Buyer: **Venture One Real Estate, LLC**
 9500 W Bryn Mawr Ave
 Rosemont, IL 60018
 (847) 243-4300

Buyer Type: **Developer/Owner-RGNL**
 Buyer Broker: **Chicagoland Commercial, Inc.**
Randy Olczyk
 (847) 246-9611

Recorded Seller: **RSVP Ventures Inc**
 True Seller: **RSVP Direct, Inc.**
 1019 Noel Ave
 Wheeling, IL 60090
 (847) 215-9054

Listing Broker: **Lee & Associates Commercial Real Estate Service**
Ryan Kehoe
 (773) 355-3034
Terry Grapenthin
 (773) 355-3042

Transaction Details

ID: 3488487

| | |
|--|--|
| Sale Date: 01/12/2016 (1,797 days on market) | Sale Type: Investment |
| Escrow Length: - | Bldg Type: Manufacturing |
| Sale Price: \$1,600,000-Confirmed | Year Built/Age: Built in 1975, Renov Jan 2016 Age: 41 |
| Asking Price: \$2,070,600 | RBA: 60,234 SF |
| Price/SF: \$26.56 | Land Area: 2.82 AC (122,839 SF) |
| Price/AC Land Gross: \$567,375.89 | |
| Percent Leased: 0.0% | Percent Improved: 77.5% |
| Tenancy: Multi | Total Value Assessed: \$472,393 in 2013 |
| Sale Conditions: Distress Sale | Improved Value Assessed: \$366,189 |
| | Land Value Assessed: \$106,204 |
| | Land Assessed/AC: \$37,660 |
| Financing: \$17,000,000.00 from MB Financial Bank, N.A.; Line of Credit loan type | |
| Parcel No: 03-14-103-010-0000 | |
| Document No: 1602212005 | |



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8/2/2016

| Image | Address Building/Block/Name | SF Avail | Rent/SF/Mo Stalls | RBA Land | Ceiling Height Drive/In | Elevators | Crane Sprinkler |
|-------|--|--|----------------------|--|---|--|--------------------|
| | 1019 Noel Ave RSVP Direct, Inc. Wheeling, IL 60090 | 60,900 SF | For Sale Only 1 | 60,900 SF 2.82 AC | 16'5"-19'0" 3 - 12'0" w x 14'0" h 4int | 4 int | Wet |
| | | Parking: 85 Surface Spaces are available; Ratio of 1.56/1,000 SF | | Expenses: 2012 Tax @ \$2.40/sf, 2014 Est Tax @ \$2.46/sf; 2012 Ops @ \$0.60/sf, 2014 Est Ops @ \$0.52/sf | | Utilities: Heating - Gas, Sewer - City, Water - City | |
| | | Power: 3800a/480v | | Rail Line: Canadian Pacific Railway | | | |
| | 475 Allendale Dr Wheeling, IL 60090 | 80,473 SF / 3,200 ofc | \$5.00/n 1 | 80,473 SF 5 AC | 18'0" 2 | 4 int | 4/5-15 tons Yes |
| | | Parking: 8 Surface Spaces are available | | Expenses: 2013 Tax @ \$0.76/sf | | Utilities: - | |
| | | Power: 1600a/480v 3p | | Rail Line: None | | | |
| | | VACANCY RELIEF | | | | | |
| | 770 Glenn Ave Wheeling, IL 60090 | 59,730 SF | \$4.25 1 | 59,730 SF 2.90 AC | 18'8" 4 | 4 ext | 2 |
| | | Parking: 120 free Surface Spaces are available; Ratio of 2.01/1,000 SF | | Expenses: 2013 Tax @ \$2.62/sf | | Utilities: Heating - Gas, Sewer - City, Water - City | |
| | | Power: 400a | | Rail Line: None | | | |



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11/5/2015

Page 14

TABLE OF CONTENT

Accurate Industries

| Address | Sq. Feet | \$/Sq. Ft. | Total Sq. Feet | Height | Exits | Other |
|--|----------|------------|----------------|--------|-------|-------|
|  <p>770 Glenn Ave Wheeling, IL 60090</p> <p>59,730 SF</p> <p>\$4.25</p> <p>59,730 SF 2.90 AC</p> <p>18'8" 4</p> <p>4 ext</p> <p>2</p> <p>Parking: 120 free Surface Spaces are available; Ratio of 2.01/1,000 SF</p> <p>Expenses: 2013 Tax @ \$2.62/sf</p> <p>Utilities: Heating - Gas, Sewer - City, Water - City</p> <p>Landlord Rep: CTK Chicago Partners / Dan Tobin (847) 699-2162 / Dominic Santoro (847) 768-3050 -- 59,730 SF (29,865 SF)</p> <p>Power: 400a Rail Line: None</p> | | | | | | |
|  <p>351-355 Hastings Dr Chevy Chase Business Park Buffalo Grove, IL 60089</p> <p>40,983 SF / 5,222 ofc</p> <p>\$5.75/n</p> <p>68,735 SF 4.36 AC</p> <p>24'0" 5</p> <p>6 ext 6 ext</p> <p>- Wet</p> <p>Parking: 28 free Surface Spaces are available; Ratio of 0.95/1,000 SF</p> <p>Expenses: 2013 Tax @ \$1.57/sf, 2012 Est Tax @ \$1.51/sf, 2011 Ops @ \$0.64/sf, 2012 Est Ops @ \$0.64/sf</p> <p>Utilities: Heating - Gas, Sewer - City, Water - City</p> <p>Landlord Rep: JLL / L.Robin L. Stolberg (773) 458-1418 / Kurt Sarbaugh (773) 458-1413 / Francesca DeAmicis (773) 458-1427 / Stephen W. Trapp (773) 458-1415 -- 40,983 SF / 5,222 ofc (16,992-23,991 SF)</p> <p>Power: 1200a/480v 3p/4w Rail Line: None</p> | | | | | | |
|  <p>1808-1850 Holste Rd Northbrook, IL 60062</p> <p>85,643 SF / 4,919 ofc</p> <p>\$5.50/fs</p> <p>95,265 SF 3.49 AC</p> <p>14'0"-19'0" 1</p> <p>1 int/3 ext None</p> <p>None Yes</p> <p>Parking: 63 free Surface Spaces are available; Ratio of 0.68/1,000 SF</p> <p>Expenses: 2013 Tax @ \$1.25/sf, 2006 Ops @ \$0.54/sf</p> <p>Utilities: Gas, Heating - Gas, Lighting - Fluorescent, Sewer - City, Water - City</p> <p>Landlord Rep: Entre Commercial Realty LLC / Brian Bocci (847) 310-4296 X102 / Nick Walby (847) 310-4208 -- 85,643 SF / 4,919 ofc (35,381-50,262 SF)</p> <p>Power: 1200-2000a/208-480v 3p/4w Rail Line: None</p> | | | | | | |





Accurate Industries

7



475 Allendale Dr
Wheeling, IL 60090
Cook County
North Cook Ind Submarket

Building Type: **Class B Warehouse**
 Status: **Built 1978**
 Building Size: **80,473 SF**
 Land Area: **5 AC**
 Stories: **1**
 Expenses: **2013 Tax @ \$0.76/sf**

Space Avail: **80,473 SF**
 Max Contig: **80,473 SF**
 Smallest Space: **50,000 SF**
 Rent/SF/Yr: **\$5.00**
 % Leased: **0%**

8



2500-2550 Millbrook Dr
Buffalo Grove, IL 60089
Lake County
South Lake County Ind Submarket

Building Type: **Class A Flex/Light Distribution**
 Status: **Built 1998**
 Building Size: **92,000 SF**
 Land Area: **4.56 AC**
 Stories: **1**
 Expenses: **2013 Tax @ \$1.28/sf**

Space Avail: **43,272 SF**
 Max Contig: **43,272 SF**
 Smallest Space: **43,272 SF**
 Rent/SF/Yr: **Withheld**
 % Leased: **53.0%**

9

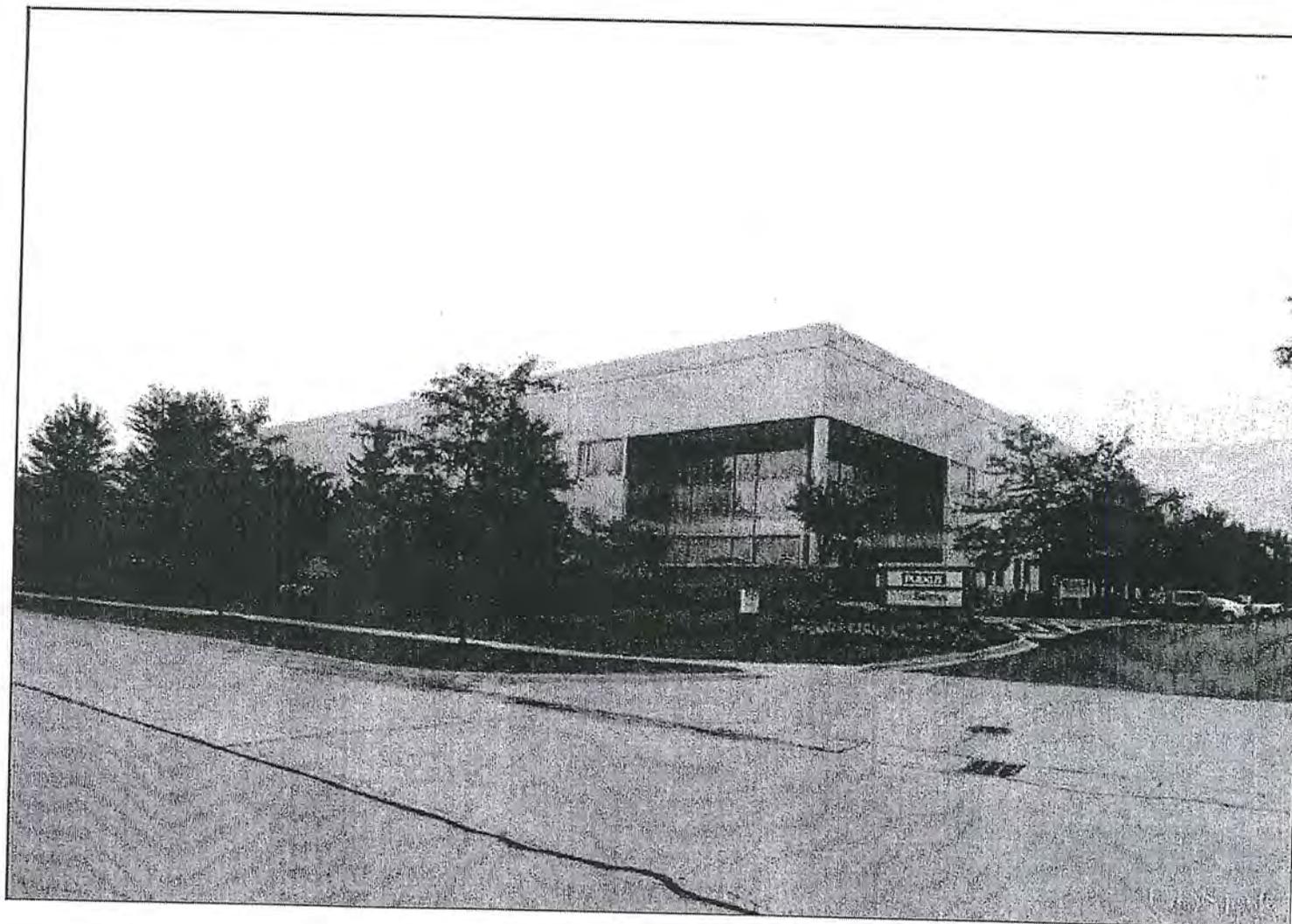


2775-2783 Shermer Rd
Northbrook, IL 60062
Cook County
North Cook Ind Submarket

Building Type: **Class C Warehouse**
 Status: **Built 1977, Renov 1986**
 Building Size: **143,400 SF**
 Land Area: **9.96 AC**
 Stories: **1**
 Expenses: **2013 Tax @ \$1.63/sf, 1999 Est Tax @ \$2.00/sf; 1997 Ops @ \$1.93/sf**

Space Avail: **94,016 SF**
 Max Contig: **94,016 SF**
 Smallest Space: **40,000 SF**
 Rent/SF/Yr: **\$6.75**
 % Leased: **34.4%**



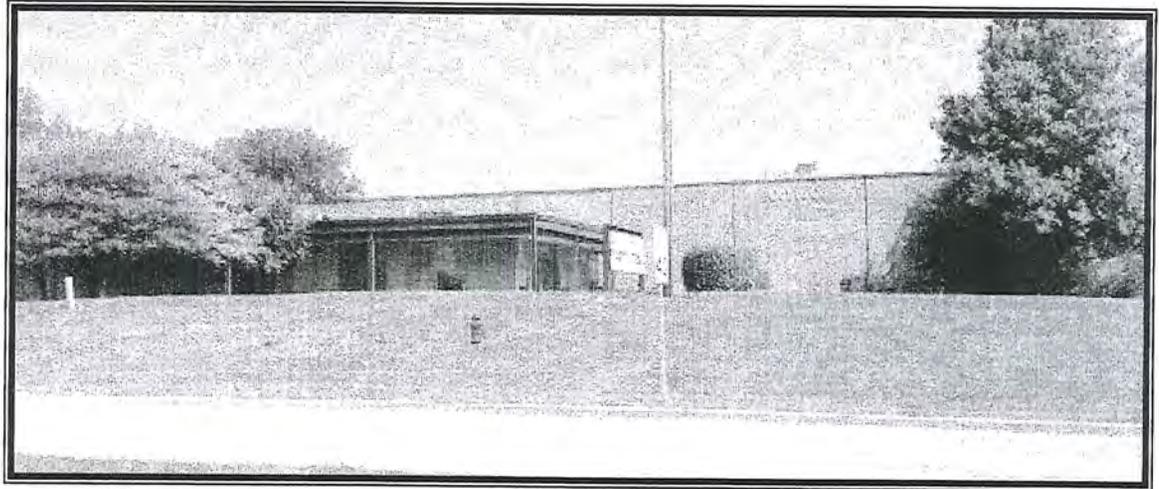


FOR SALE

300 East Main Street (Route 22), Lake Zurich, IL

Building Specifications

Available: 88,000 SF
Office: 8,000 SF
Land Site: 8.9 Acres
Ceiling Height: 20' to 22' Clear
Loading: 4 Interior Docks
4 Exterior Docks
2 DID
Power: 1,200 Amps
Parking: 100+ Cars; 25+ Trucks
Construction: Masonry
Taxes: \$0.79 PSF
Sale Price: \$3,479,000



Features:

- ◆ Current Owner Will Stay and Lease 40,000 SF for 3-5 Years or Vacate Entire Property
- ◆ Great Frontage on Route 22
- ◆ Retail Potential. Mariano's Grocery Store Just Opened Down the Street
- ◆ Large Land Site for Expansion
- ◆ New Roof on 1/2 of the Building
- ◆ New HVAC Units
- ◆ Located on a Four Lane Highway with a Stoplight in Front of the Building



Entre Commercial Realty LLC
1930 Thoreau Drive, Suite 181
Schaumburg, IL 60173
www.entrecommercial.com

Brian Bocci
(847) 310-4296
bbocci@entrecommercial.com

Nick Walby
(847) 310-4208
nwalby@entrecommercial.com

Exhibit H

Real Estate Contract

The required information has been provided by 511 Glenn, LLC, has been confirmed as meeting the application requirements, and is on file with the Village's Department of Economic Development. The full document has not been attached, as it was submitted with the understanding that it is confidential financial information that should not be disclosed to the general public by the Village.

Exhibit I

Past Tax Bills – Last 3 Years

(Attached)

TOTAL PAYMENT DUE
\$82,711.98
 P- 08/01/16 (on time)

2015 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-303-026-0000 Volume 231 Code 38055 Tax Year 2015 (Payable In) (2016) Township WHEELING Classification 5-93

IF PAYING LATE, PLEASE PAY 08/02/16-09/01/16 09/02/16-10/01/16 10/02/16-11/01/16 **LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW**
 \$83,952.66 \$85,193.34 \$86,434.02

TAXING DISTRICT BREAKDOWN

| Taxing District | 2015 Tax | 2015 Rate | 2015 % | Pension | 2014 Tax |
|--|-------------------|---------------|----------------|----------|-------------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 147.01 | 0.011 | 0.08% | | 177.44 |
| Metro Water Reclamation Dist of Chicago | 5,693.23 | 0.426 | 3.19% | 588.03 | 5,869.01 |
| Indian Trails Public Library Wheeling | 7,136.58 | 0.534 | 4.00% | 507.84 | 7,220.24 |
| Wheeling Park District | 12,348.69 | 0.924 | 6.92% | 1,082.51 | 12,147.48 |
| Miscellaneous Taxes Total | 25,325.51 | 1.895 | 14.19% | | 25,414.17 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 8,227.80 | 0.466 | 3.49% | | 6,155.63 |
| Township HS District 214 (Arlington Hts) | 38,502.78 | 2.881 | 21.58% | 1,550.26 | 37,889.21 |
| Community Consolidated SD 21 (Wheeling) | 75,401.83 | 5.642 | 42.25% | 3,407.91 | 74,113.26 |
| School Taxes Total | 120,132.41 | 8.989 | 67.32% | | 118,158.10 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 23,107.01 | 1.729 | 12.95% | 6,094.15 | 20,705.31 |
| Road & Bridge Wheeling | 287.29 | 0.020 | 0.15% | | 259.33 |
| General Assistance Wheeling | 133.64 | 0.010 | 0.07% | | 136.49 |
| Town of Wheeling | 735.04 | 0.055 | 0.41% | | 709.74 |
| Municipality/Township Taxes Total | 24,242.98 | 1.814 | 13.58% | | 21,810.87 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 922.14 | 0.069 | 0.52% | 26.72 | 941.77 |
| Consolidated Elections | 454.39 | 0.034 | 0.25% | | 0.00 |
| County of Cook | 3,862.31 | 0.289 | 2.17% | 1,389.89 | 4,040.04 |
| Cook County Public Safety | 1,964.66 | 0.147 | 1.10% | | 3,289.37 |
| Cook County Health Facilities | 1,550.27 | 0.116 | 0.87% | | 423.11 |
| Cook County Taxes Total | 8,753.67 | 0.655 | 4.91% | | 8,684.29 |
| (Do not pay these totals) | 178,454.57 | 13.353 | 100.00% | | 174,077.43 |

TAX CALCULATOR

| | | | |
|-------------------------------------|------------|---|-------------------|
| 2014 Assessed Value | 500,820 | 2015 Total Tax Before Exemptions | 178,454.57 |
| 2015 Assessed Value | 500,820 | Homeowner's Exemption | .00 |
| 2015 State Equalization Factor X | 2.8685 | Senior Citizen Exemption | .00 |
| 2015 Equalized Assessed Value (EAV) | 1,336,438 | Senior Assessment Freeze Exemption | .00 |
| 2015 Local Tax Rate X | 13.353% | 2015 Total Tax After Exemptions | 178,454.57 |
| 2015 Total Tax Before Exemptions | 178,454.57 | First Installment | 95,742.59 |
| | | Second Installment + | 82,711.98 |
| | | Total 2015 Tax (Payable in 2016) | 178,454.57 |

IMPORTANT MESSAGES
 - Thank you for your first installment payment of: \$95,742.59 on 06-22-16

PROPERTY LOCATION
 511 GLENN AVE
 WHEELING IL 60090 6015

MAILING ADDRESS
 ANDREAS COMPANY
 3323 NW 53RD CIRCLE
 BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE
\$1,300.51

2015 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-014-0000 Volume 231 Code 38055 Tax Year (Payable In) 2015 (2016) Township WHEELING Classification 1-00

IF PAYING LATE, PLEASE PAY 08/02/16-09/01/16 \$1,320.02 09/02/16-10/01/16 \$1,339.53 10/02/16-11/01/16 \$1,359.04 **LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW**

TAXING DISTRICT BREAKDOWN

| Taxing District | 2015 Tax | 2015 Rate | 2015 % | Pension | 2014 Tax |
|--|-----------------|---------------|----------------|--------------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 2.31 | 0.011 | 0.08% | | |
| Metro Water Reclamation Dist of Chicago | 89.52 | 0.426 | 3.19% | | 2.79 |
| Indian Trails Public Library Wheeling | 112.21 | 0.534 | 4.00% | 9.24 | 92.29 |
| Wheeling Park District | 194.17 | 0.924 | 6.92% | 7.98 | 118.53 |
| Miscellaneous Taxes Total | 398.21 | 1.895 | 14.19% | 17.02 | 191.01 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 97.93 | 0.466 | 3.49% | | 96.79 |
| Township HS District 214 (Arlington Hts) | 605.41 | 2.881 | 21.58% | 24.37 | 595.79 |
| Community Consolidated SD 21 (Wheeling) | 1,185.61 | 5.642 | 42.25% | 53.58 | 1,165.39 |
| School Taxes Total | 1,888.95 | 8.989 | 67.32% | | 1,857.97 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 363.33 | 1.729 | 12.95% | | |
| Road & Bridge Wheeling | 4.20 | 0.020 | 0.15% | 95.82 | 325.58 |
| General Assistance Wheeling | 2.10 | 0.010 | 0.07% | | 4.08 |
| Town of Wheeling | 11.56 | 0.055 | 0.41% | | 2.15 |
| Municipality/Township Taxes Total | 381.19 | 1.814 | 13.58% | | 11.16 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 14.50 | 0.069 | 0.52% | | |
| Consolidated Elections | 7.14 | 0.034 | 0.25% | 0.42 | 14.81 |
| County of Cook | 60.74 | 0.289 | 2.17% | | 0.00 |
| Cook County Public Safety | 30.89 | 0.147 | 1.10% | 21.85 | 63.52 |
| Cook County Health Facilities | 24.38 | 0.116 | 0.87% | | 51.72 |
| Cook County Taxes Total | 137.65 | 0.655 | 4.91% | | 6.65 |
| (Do not pay these totals) | 2,806.00 | 13.353 | 100.00% | | 2,737.26 |

TAX CALCULATOR

| | | | |
|-------------------------------------|----------|------------------------------------|----------|
| 2014 Assessed Value | 7,875 | 2015 Total Tax Before Exemptions | 2,806.00 |
| 2015 Assessed Value | 7,875 | Homeowner's Exemption | .00 |
| 2015 State Equalization Factor X | 2.6685 | Senior Citizen Exemption | .00 |
| 2015 Equalized Assessed Value (EAV) | 21,014 | Senior Assessment Freeze Exemption | .00 |
| 2015 Local Tax Rate X | 13.353% | 2015 Total Tax After Exemptions | 2,806.00 |
| 2015 Total Tax Before Exemptions | 2,806.00 | First Installment | 1,505.40 |
| | | Second Installment + | 1,300.51 |
| | | Total 2015 Tax (Payable In 2016) | 2,806.00 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$1,505.49 on 02-27-16

PROPERTY LOCATION

511 GLENN AVE
 WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
 3323 NW 53RD CR
 BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE

\$1,300.51

7/01/16 (on time)

2015 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-013-0000 Volume 231 Code 38055 Tax Year (Payable In) 2015 (2016) Township WHEELING Classification 1-00

IF PAYING LATE, PLEASE PAY

08/02/16-09/01/16 \$1,320.02

09/02/16-10/01/16 \$1,339.53

10/02/16-11/01/16 \$1,359.04

LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2015 Tax | 2015 Rate | 2015 % | Pension | 2014 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 2.31 | 0.011 | 0.08% | | 2.79 |
| Metro Water Reclamation Dist of Chicago | 89.52 | 0.426 | 3.19% | 9.24 | 92.29 |
| Indian Trails Public Library Wheeling | 112.21 | 0.534 | 4.00% | 7.98 | 113.53 |
| Wheeling Park District | 194.17 | 0.924 | 6.92% | 17.02 | 191.01 |
| Miscellaneous Taxes Total | 398.21 | 1.895 | 14.19% | | 399.62 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 97.93 | 0.468 | 3.49% | | 96.79 |
| Township HS District 214 (Arlington Hts) | 805.41 | 2.881 | 21.58% | 24.37 | 595.79 |
| Community Consolidated SD 21 (Wheeling) | 1,185.61 | 5.642 | 42.25% | 53.58 | 1,165.39 |
| School Taxes Total | 1,888.95 | 8.989 | 67.32% | | 1,857.97 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 383.33 | 1.729 | 12.95% | 95.82 | 325.58 |
| Road & Bridge Wheeling | 4.20 | 0.020 | 0.15% | | 4.08 |
| General Assistance Wheeling | 2.10 | 0.010 | 0.07% | | 2.15 |
| Town of Wheeling | 11.56 | 0.055 | 0.41% | | 11.18 |
| Municipality/Township Taxes Total | 381.19 | 1.814 | 13.58% | | 342.97 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 14.50 | 0.069 | 0.52% | 0.42 | 14.81 |
| Consolidated Elections | 7.14 | 0.034 | 0.25% | | 0.00 |
| County of Cook | 60.74 | 0.289 | 2.17% | 21.85 | 63.52 |
| Cook County Public Safety | 30.89 | 0.147 | 1.10% | | 51.72 |
| Cook County Health Facilities | 24.38 | 0.116 | 0.87% | | 6.85 |
| Cook County Taxes Total | 137.65 | 0.655 | 4.91% | | 138.70 |
| (Do not pay these totals) | 2,806.00 | 13.353 | 100.00% | | 2,737.26 |

TAX CALCULATOR

| | | | |
|-------------------------------------|----------|------------------------------------|----------|
| 2014 Assessed Value | 7,875 | 2015 Total Tax Before Exemptions | 2,806.00 |
| | | Homeowner's Exemption | .00 |
| | | Senior Citizen Exemption | .00 |
| | | Senior Assessment Freeze Exemption | .00 |
| 2015 Assessed Value | 7,875 | 2015 Total Tax After Exemptions | 2,806.00 |
| 2015 State Equalization Factor X | 2.6685 | First Installment | 1,505.49 |
| 2015 Equalized Assessed Value (EAV) | 21,014 | Second Installment + | 1,300.51 |
| 2015 Local Tax Rate X | 13.353% | Total 2015 Tax (Payable In 2016) | 2,806.00 |
| 2015 Total Tax Before Exemptions | 2,806.00 | | |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$1,505.49 on 02-27-16

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 8015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CR
BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE

\$3,938.71

7/01/16 (on time)

2015 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-002-0000 Volume 231 Code 38055 Tax Year (Payable In) 2015 (2016) Township WHEELING Classification 5-80

IF PAYING LATE, PLEASE PAY 08/02/16-09/01/16 \$3,997.79 09/02/16-10/01/16 \$4,056.87 10/02/16-11/01/16 \$4,115.95 **LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW**

TAXING DISTRICT BREAKDOWN

| Taxing District | 2015 Tax | 2015 Rate | 2015 % | Pension | 2014 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 7.00 | 0.011 | 0.08% | | 8.45 |
| Metro Water Reclamation Dist of Chicago | 271.11 | 0.426 | 3.19% | 28.00 | 279.48 |
| Indian Trails Public Library Wheeling | 339.84 | 0.534 | 4.00% | 24.18 | 343.83 |
| Wheeling Park District | 588.04 | 0.924 | 6.92% | 51.54 | 578.48 |
| Miscellaneous Taxes Total | 1,205.99 | 1.895 | 14.19% | | 1,210.22 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 296.57 | 0.466 | 3.49% | | 293.13 |
| Township HS District 214 (Arlington Hts) | 1,833.50 | 2.881 | 21.58% | 73.82 | 1,804.29 |
| Community Consolidated SD 21 (Wheeling) | 3,590.63 | 5.642 | 42.25% | 162.29 | 3,529.28 |
| School Taxes Total | 5,720.70 | 8.989 | 67.32% | | 5,626.70 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 1,100.35 | 1.729 | 12.95% | 290.20 | 985.99 |
| Road & Bridge Wheeling | 12.73 | 0.020 | 0.15% | | 12.35 |
| General Assistance Wheeling | 6.38 | 0.010 | 0.07% | | 8.50 |
| Town of Wheeling | 35.00 | 0.055 | 0.41% | | 33.80 |
| Municipality/Township Taxes Total | 1,154.44 | 1.814 | 13.58% | | 1,038.64 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 43.91 | 0.069 | 0.52% | 1.27 | 44.85 |
| Consolidated Elections | 21.64 | 0.034 | 0.25% | | 0.00 |
| County of Cook | 183.93 | 0.289 | 2.17% | 86.18 | 192.39 |
| Cook County Public Safety | 93.55 | 0.147 | 1.10% | | 158.64 |
| Cook County Health Facilities | 73.82 | 0.116 | 0.87% | | 20.15 |
| Cook County Taxes Total | 416.85 | 0.655 | 4.91% | | 414.03 |
| (Do not pay these totals) | 8,497.98 | 13.353 | 100.00% | | 8,289.59 |

TAX CALCULATOR

| | | | |
|-------------------------------------|----------|------------------------------------|----------|
| 2014 Assessed Value | 23,849 | 2015 Total Tax Before Exemptions | 8,497.98 |
| 2015 Assessed Value | 23,849 | Homeowner's Exemption | .00 |
| 2015 State Equalization Factor X | 2.6685 | Senior Citizen Exemption | .00 |
| 2015 Equalized Assessed Value (EAV) | 63,641 | Senior Assessment Freeze Exemption | .00 |
| 2015 Local Tax Rate X | 13.353% | 2015 Total Tax After Exemptions | 8,497.98 |
| 2015 Total Tax Before Exemptions | 8,497.98 | First Installment | 4,559.27 |
| | | Second Installment + | 3,938.71 |
| | | Total 2015 Tax (Payable in 2016) | 8,497.98 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$4,559.27 on 03-01-16

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CR
BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE

\$3,297.82

P 08/01/16 (on time)

2015 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-001-0000 Volume 231 Code 38055 Tax Year (Payable In) 2015 (2016) Township WHEELING Classification 5-80

IF PAYING LATE, PLEASE PAY 08/02/16-09/01/16 \$3,347.29 09/02/16-10/01/16 \$3,396.76 10/02/16-11/01/16 \$3,446.23 LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2015 Tax | 2015 Rate | 2015 % | Pension | 2014 Tax |
|--|-----------------|---------------|----------------|---------------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 5.88 | 0.011 | 0.08% | | 7.07 |
| Metro Water Reclamation Dist of Chicago | 226.99 | 0.426 | 3.19% | | 234.00 |
| Indian Trails Public Library Wheeling | 284.54 | 0.534 | 4.00% | 23.44 | 287.88 |
| Wheeling Park District | 492.35 | 0.924 | 6.92% | 20.24 | 484.33 |
| Miscellaneous Taxes Total | 1,009.74 | 1.895 | 14.19% | 43.16 | 1,013.28 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 248.31 | 0.466 | 3.49% | | 245.43 |
| Township HS District 214 (Arlington Hts) | 1,535.14 | 2.881 | 21.58% | | 1,510.87 |
| Community Consolidated SD 21 (Wheeling) | 3,006.34 | 5.642 | 42.25% | 61.81 | 2,954.95 |
| School Taxes Total | 4,789.79 | 8.989 | 67.32% | 135.87 | 4,711.05 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 921.30 | 1.729 | 12.95% | | 825.54 |
| Road & Bridge Wheeling | 10.66 | 0.020 | 0.15% | 242.97 | 10.34 |
| General Assistance Wheeling | 5.33 | 0.010 | 0.07% | | 5.44 |
| Town of Wheeling | 29.31 | 0.055 | 0.41% | | 28.30 |
| Municipality/Township Taxes Total | 966.60 | 1.814 | 13.58% | | 869.82 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 36.77 | 0.089 | 0.52% | | 37.55 |
| Consolidated Elections | 18.12 | 0.034 | 0.25% | 1.06 | 0.00 |
| County of Cook | 153.99 | 0.289 | 2.17% | | 161.08 |
| Cook County Public Safety | 78.33 | 0.147 | 1.10% | 55.41 | 131.15 |
| Cook County Health Facilities | 61.81 | 0.116 | 0.87% | | 16.87 |
| Cook County Taxes Total | 349.02 | 0.655 | 4.91% | | 346.85 |
| (Do not pay these totals) | 7,115.15 | 13.353 | 100.00% | | 6,940.80 |

TAX CALCULATOR

| | | | |
|-------------------------------------|-----------|------------------------------------|----------|
| 2014 Assessed Value | 19,968 | 2015 Total Tax Before Exemptions | 7,115.15 |
| 2015 Assessed Value | 19,968 | Homeowner's Exemption | .00 |
| 2015 State Equalization Factor X | 2.6685 | Senior Citizen Exemption | .00 |
| 2015 Equalized Assessed Value (EAV) | 53,285 | Senior Assessment Freeze Exemption | .00 |
| 2015 Local Tax Rate | K 13.353% | 2015 Total Tax After Exemptions | 7,115.15 |
| 2015 Total Tax Before Exemptions | 7,115.15 | First Installment | 3,817.33 |
| | | Second Installment + | 3,297.82 |
| | | Total 2015 Tax (Payable in 2016) | 7,115.15 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$3,817.33 on 02-26-16

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CR
BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE:
\$85,680.75

By 03/15 (on time)

2014 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-303-026-0000 Volume 231 Code 38055 Tax Year (Payable In) 2014 (2015) Township WHEELING Classification 5-93

IF PAYING LATE, PLEASE PAY

| | | | |
|-------------------|-------------------|-------------------|---|
| 08/04/15-09/01/15 | 09/02/15-10/01/15 | 10/02/15-11/01/15 | LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW |
| \$86,965.96 | \$88,251.17 | \$89,536.38 | |

TAXING DISTRICT BREAKDOWN

| Taxing District | 2014 Tax | 2014 Rate | 2014 % | Pension | 2013 Tax |
|--|-------------------|---------------|----------------|----------|-------------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 177.44 | 0.013 | 0.10% | | 173.32 |
| Metro Water Reclamation Dist of Chicago | 5,869.01 | 0.430 | 3.37% | 545.95 | 5,559.58 |
| Indian Trails Public Library Wheeling | 7,220.24 | 0.529 | 4.15% | 122.83 | 6,719.49 |
| Wheeling Park District | 12,147.48 | 0.890 | 6.98% | 941.77 | 11,985.76 |
| Miscellaneous Taxes Total | 25,414.17 | 1.862 | 14.60% | | 24,438.15 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 6,155.63 | 0.451 | 3.54% | | 5,919.55 |
| Township HS District 214 (Arlington Hts) | 37,889.21 | 2.776 | 21.77% | 1,569.61 | 36,903.89 |
| Community Consolidated SD 21 (Wheeling) | 74,113.26 | 5.430 | 42.57% | 3,685.18 | 64,541.81 |
| School Taxes Total | 118,158.10 | 8.657 | 67.88% | | 107,365.25 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 20,705.31 | 1.517 | 11.89% | 5,473.18 | 18,985.24 |
| Road & Bridge Wheeling | 259.33 | 0.019 | 0.15% | | 253.31 |
| General Assistance Wheeling | 136.49 | 0.010 | 0.08% | | 133.32 |
| Town of Wheeling | 709.74 | 0.052 | 0.41% | | 746.81 |
| Municipality/Township Taxes Total | 21,810.87 | 1.598 | 12.53% | | 20,118.48 |
| COOK COUNTY TAXES | | | | | |
| County Forest Preserve District | 941.77 | 0.069 | 0.54% | 27.29 | 919.93 |
| Consolidated Elections | 0.00 | 0.000 | 0.00% | | 413.30 |
| County of Cook | 4,040.04 | 0.296 | 2.32% | 1,474.07 | 3,666.42 |
| Cook County Public Safety | 3,289.37 | 0.241 | 1.89% | | 2,919.78 |
| Cook County Health Facilities | 423.11 | 0.031 | 0.24% | | 679.93 |
| Cook County Taxes Total | 8,694.29 | 0.637 | 4.99% | | 8,799.36 |
| (Do not pay these totals) | 174,077.43 | 12.754 | 100.00% | | 180,721.24 |

TAX CALCULATOR

| | | | |
|-------------------------------------|-------------------|---|-------------------|
| 2013 Assessed Value | 500,820 | 2014 Total Tax Before Exemptions | 174,077.43 |
| 2014 Assessed Value | 500,820 | Homeowner's Exemption | .00 |
| 2014 State Equalization Factor X | 2.7253 | Senior Citizen Exemption | .00 |
| 2014 Equalized Assessed Value (EAV) | 1,364,885 | Senior Assessment Freeze Exemption | .00 |
| 2014 Local Tax Rate X | 12.754% | 2014 Total Tax After Exemptions | 174,077.43 |
| Total Tax Before Exemptions | 174,077.43 | First Installment | 88,396.88 |
| | | Second Installment + | 85,680.75 |
| | | Total 2014 Tax (Payable In 2015) | 174,077.43 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$88,396.88 on 04-10-15

PROPERTY LOCATION

511 GLENN AVE
 WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
 3323 NW 53RD CIRCLE
 BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE
\$1,347.29

2014 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-014-0000 Volume 231 Code 38055 Tax Year (Payable In) 2014 (2015) Township WHEELING Classification 1-00

B: '03/15 (on time)

IF PAYING LATE, PLEASE PAY 08/04/15-09/01/15 \$1,367.50 09/02/15-10/01/15 \$1,387.71 10/02/15-11/01/15 \$1,407.92 LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2014 Tax | 2014 Rate | 2014 % | Pension | 2013 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 2.79 | 0.013 | 0.10% | | 2.73 |
| Metro Water Reclamation Dist of Chicago | 92.29 | 0.430 | 3.37% | 8.58 | 87.42 |
| Indian Trails Public Library Wheeling | 113.53 | 0.529 | 4.15% | 1.93 | 105.66 |
| Wheeling Park District | 191.01 | 0.890 | 6.98% | 14.80 | 188.47 |
| Miscellaneous Taxes Total | 399.62 | 1.862 | 14.60% | | 384.28 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 96.79 | 0.451 | 3.54% | | 93.08 |
| Township HS District 214 (Arlington Hts) | 595.79 | 2.776 | 21.77% | 24.68 | 580.28 |
| Community Consolidated SD 21 (Wheeling) | 1,165.39 | 5.430 | 42.58% | 57.94 | 1,014.87 |
| School Taxes Total | 1,857.97 | 8.657 | 67.89% | | 1,688.23 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 325.58 | 1.517 | 11.89% | 86.06 | 298.53 |
| Road & Bridge Wheeling | 4.08 | 0.019 | 0.15% | | 3.98 |
| General Assistance Wheeling | 2.15 | 0.010 | 0.08% | | 2.10 |
| Town of Wheeling | 11.16 | 0.052 | 0.41% | | 11.74 |
| Municipality/Township Taxes Total | 342.97 | 1.598 | 12.53% | | 316.35 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 14.81 | 0.069 | 0.54% | 0.42 | 14.47 |
| Consolidated Elections | 0.00 | 0.000 | 0.00% | | 6.50 |
| County of Cook | 63.52 | 0.296 | 2.31% | 23.17 | 57.63 |
| Cook County Public Safety | 51.72 | 0.241 | 1.89% | | 45.91 |
| Cook County Health Facilities | 6.65 | 0.031 | 0.24% | | 13.84 |
| Cook County Taxes Total | 136.70 | 0.637 | 4.96% | | 138.35 |
| (Do not pay these totals) | 2,737.26 | 12.754 | 100.00% | | 2,527.21 |

TAX CALCULATOR

| | | | |
|-------------------------------------|-----------------|---|-----------------|
| 2013 Assessed Value | 7,875 | 2014 Total Tax Before Exemptions | 2,737.26 |
| | | Homeowner's Exemption | .00 |
| | | Senior Citizen Exemption | .00 |
| 2014 Assessed Value | 7,875 | Senior Assessment Freeze Exemption | .00 |
| 2014 State Equalization Factor X | 2.7253 | | |
| 2014 Equalized Assessed Value (EAV) | 21,462 | 2014 Total Tax After Exemptions | 2,737.26 |
| 2014 Local Tax Rate X | 12.754% | First Installment | 1,389.97 |
| Total Tax Before Exemptions | 2,737.26 | Second Installment + | 1,347.29 |
| | | Total 2014 Tax (Payable In 2015) | 2,737.26 |

IMPORTANT MESSAGES

Thank you for your first installment payment of: \$1,389.97 on 03-03-15

PROPERTY LOCATION

511 GLENN AVE
 WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
 3323 NW 53RD CR
 BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE

\$1,347.29

By 03/15 (on time)

2014 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-013-0000 Volume 231 Code 38055 Tax Year (Payable in) 2014 (2015) Township WHEELING Classification 1-00

IF PAYING LATE, PLEASE PAY 08/04/15-09/01/15 \$1,367.50 09/02/15-10/01/15 \$1,387.71 10/02/15-11/01/15 \$1,407.92

LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2014 Tax | 2014 Rate | 2014 % | Pension | 2013 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 2.79 | 0.013 | 0.10% | | 2.73 |
| Metro Water Reclamation Dist of Chicago | 92.29 | 0.430 | 3.37% | 8.58 | 87.42 |
| Indian Trails Public Library Wheeling | 113.53 | 0.529 | 4.15% | 1.93 | 105.66 |
| Wheeling Park District | 191.01 | 0.890 | 6.98% | 14.80 | 188.47 |
| Miscellaneous Taxes Total | 399.62 | 1.862 | 14.80% | | 384.28 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 96.79 | 0.451 | 3.54% | | 93.08 |
| Township HS District 214 (Arlington Hts) | 595.79 | 2.776 | 21.77% | 24.68 | 580.28 |
| Community Consolidated SD 21 (Wheeling) | 1,165.39 | 5.430 | 42.58% | 57.94 | 1,014.87 |
| School Taxes Total | 1,857.97 | 8.657 | 67.89% | | 1,688.23 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 325.58 | 1.517 | 11.89% | 86.06 | 298.53 |
| Road & Bridge Wheeling | 4.08 | 0.019 | 0.15% | | 3.98 |
| General Assistance Wheeling | 2.15 | 0.010 | 0.08% | | 2.10 |
| Town of Wheeling | 11.16 | 0.052 | 0.41% | | 11.74 |
| Municipality/Township Taxes Total | 342.97 | 1.598 | 12.53% | | 316.35 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 14.81 | 0.069 | 0.54% | 0.42 | 14.47 |
| Consolidated Elections | 0.00 | 0.000 | 0.00% | | 6.50 |
| County of Cook | 63.52 | 0.296 | 2.31% | 23.17 | 57.63 |
| Cook County Public Safety | 51.72 | 0.241 | 1.89% | | 45.91 |
| Cook County Health Facilities | 6.65 | 0.031 | 0.24% | | 13.84 |
| Cook County Taxes Total | 136.70 | 0.637 | 4.98% | | 138.35 |
| (Do not pay these totals) | 2,737.26 | 12.754 | 100.00% | | 2,527.21 |

TAX CALCULATOR

| | | | |
|-------------------------------------|-----------------|---|-----------------|
| 2013 Assessed Value | 7,875 | 2014 Total Tax Before Exemptions | 2,737.26 |
| 2014 Assessed Value | 7,875 | Homeowner's Exemption | .00 |
| 2014 State Equalization Factor X | 2.7253 | Senior Citizen Exemption | .00 |
| 2014 Equalized Assessed Value (EAV) | 21,462 | Senior Assessment Freeze Exemption | .00 |
| 2014 Local Tax Rate X | 12.754% | 2014 Total Tax After Exemptions | 2,737.26 |
| Total Tax Before Exemptions | 2,737.26 | First Installment | 1,389.97 |
| | | Second Installment + | 1,347.29 |
| | | Total 2014 Tax (Payable in 2015) | 2,737.26 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$1,389.97 on 03-03-15

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CR
BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE

\$4,080.18

By 3/15 (on time)

2014 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-002-0000 Volume 231 Code 38055 Tax Year (Payable In) 2014 (2015) Township WHEELING Classification 5-80

IF PAYING LATE,
PLEASE PAY

08/04/15-09/01/15
\$4,141.38

09/02/15-10/01/15
\$4,202.58

10/02/15-11/01/15
\$4,263.78

LATE INTEREST IS 1.5% PER
MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2014 Tax | 2014 Rate | 2014 % | Pension | 2013 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 8.45 | 0.013 | 0.10% | | 8.25 |
| Metro Water Reclamation Dist of Chicago | 279.48 | 0.430 | 3.37% | 25.99 | 264.74 |
| Indian Trails Public Library Wheeling | 343.83 | 0.529 | 4.15% | 5.84 | 319.98 |
| Wheeling Park District | 578.46 | 0.890 | 6.98% | 44.84 | 570.76 |
| Miscellaneous Taxes Total | 1,210.22 | 1.862 | 14.60% | | 1,163.73 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 293.13 | 0.451 | 3.54% | | 281.89 |
| Township HS District 214 (Arlington Hts) | 1,804.29 | 2.776 | 21.77% | 74.74 | 1,757.35 |
| Community Consolidated SD 21 (Wheeling) | 3,529.28 | 5.430 | 42.57% | 175.48 | 3,073.45 |
| School Taxes Total | 5,626.70 | 8.657 | 67.88% | | 5,112.69 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 985.99 | 1.517 | 11.89% | 260.63 | 904.07 |
| Road & Bridge Wheeling | 12.35 | 0.019 | 0.15% | | 12.06 |
| General Assistance Wheeling | 6.50 | 0.010 | 0.08% | | 6.35 |
| Town of Wheeling | 33.80 | 0.052 | 0.41% | | 35.55 |
| Municipality/Township Taxes Total | 1,038.64 | 1.598 | 12.53% | | 958.03 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 44.85 | 0.089 | 0.54% | 1.29 | 43.81 |
| Consolidated Elections | 0.00 | 0.000 | 0.00% | | 19.68 |
| County of Cook | 192.39 | 0.296 | 2.32% | 70.19 | 174.60 |
| Cook County Public Safety | 156.64 | 0.241 | 1.89% | | 139.04 |
| Cook County Health Facilities | 20.15 | 0.031 | 0.24% | | 41.90 |
| Cook County Taxes Total | 414.03 | 0.637 | 4.99% | | 419.03 |
| (Do not pay these totals) | 8,289.59 | 12.754 | 100.00% | | 7,653.48 |

TAX CALCULATOR

| | | | |
|-------------------------------------|----------|------------------------------------|----------|
| 2013 Assessed Value | 23,849 | 2014 Total Tax Before Exemptions | 8,289.59 |
| | | Homeowner's Exemption | .00 |
| | | Senior Citizen Exemption | .00 |
| 2014 Assessed Value | 23,849 | Senior Assessment Freeze Exemption | .00 |
| 2014 State Equalization Factor X | 2.7253 | | |
| 2014 Equalized Assessed Value (EAV) | 64,996 | 2014 Total Tax After Exemptions | 8,289.59 |
| 2014 Local Tax Rate X | 12.754% | First Installment | 4,209.41 |
| Total Tax Before Exemptions | 8,289.59 | Second Installment + | 4,080.18 |
| | | Total 2014 Tax (Payable In 2015) | 8,289.59 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$4,209.41 on 03-03-15

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CR
BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE
\$3,416.16
 By 3/15 (on time)

2014 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-001-0000 Volume 231 Code 38055 Tax Year 2014 (Payable In) (2015) Township WHEELING Classification 5-80

IF PAYING LATE, PLEASE PAY
 08/04/15-09/01/15 \$3,467.40
 09/02/15-10/01/15 \$3,518.64
 10/02/15-11/01/15 \$3,569.88
 LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2014 Tax | 2014 Rate | 2014 % | Pension | 2013 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 7.07 | 0.013 | 0.10% | | 6.91 |
| Metro Water Reclamation Dist of Chicago | 234.00 | 0.430 | 3.37% | 21.76 | 221.66 |
| Indian Trails Public Library Wheeling | 287.88 | 0.529 | 4.15% | 4.89 | 267.91 |
| Wheeling Park District | 484.33 | 0.890 | 6.98% | 37.54 | 477.88 |
| Miscellaneous Taxes Total | 1,013.28 | 1.862 | 14.60% | | 974.36 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 245.43 | 0.451 | 3.54% | | 236.02 |
| Township HS District 214 (Arlington Hts) | 1,510.67 | 2.776 | 21.77% | 62.58 | 1,471.39 |
| Community Consolidated SD 21 (Wheeling) | 2,954.95 | 5.430 | 42.57% | 146.93 | 2,573.33 |
| School Taxes Total | 4,711.05 | 8.657 | 67.88% | | 4,280.74 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 825.54 | 1.517 | 11.89% | 218.22 | 756.96 |
| Road & Bridge Wheeling | 10.34 | 0.019 | 0.15% | | 10.10 |
| General Assistance Wheeling | 5.44 | 0.010 | 0.08% | | 5.32 |
| Town of Wheeling | 28.30 | 0.052 | 0.41% | | 29.77 |
| Municipality/Township Taxes Total | 869.62 | 1.598 | 12.53% | | 802.15 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 37.55 | 0.069 | 0.54% | 1.08 | 36.68 |
| Consolidated Elections | 0.00 | 0.000 | 0.00% | | 16.48 |
| County of Cook | 161.08 | 0.296 | 2.32% | 58.77 | 146.18 |
| Cook County Public Safety | 131.15 | 0.241 | 1.89% | | 116.41 |
| Cook County Health Facilities | 16.87 | 0.031 | 0.24% | | 35.08 |
| Cook County Taxes Total | 346.65 | 0.637 | 4.99% | | 350.83 |
| (Do not pay these totals) | 6,940.60 | 12.754 | 100.00% | | 6,408.08 |

TAX CALCULATOR

| | | | |
|-------------------------------------|-----------------|---|-----------------|
| 2013 Assessed Value | 19,968 | 2014 Total Tax Before Exemptions | 6,940.60 |
| 2014 Assessed Value | 19,968 | Homeowner's Exemption | .00 |
| 2014 State Equalization Factor X | 2.7253 | Senior Citizen Exemption | .00 |
| 2014 Equalized Assessed Value (EAV) | 54,419 | Senior Assessment Freeze Exemption | .00 |
| 2014 Local Tax Rate X | 12.754% | 2014 Total Tax After Exemptions | 6,940.60 |
| Total Tax Before Exemptions | 6,940.60 | First Installment | 3,524.44 |
| | | Second Installment + | 3,416.16 |
| | | Total 2014 Tax (Payable In 2015) | 6,940.60 |

IMPORTANT MESSAGES

Thank you for your first installment payment of: \$3,524.44 on 03-03-15

PROPERTY LOCATION

511 GLENN AVE
 WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
 3323 NW 53RD CR
 BOCA RATON FL 33496-2538

TOTAL PAYMENT DUE

\$84,203.39

By 08/01/14 (on time)

2013 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-303-026-0000 Volume 231 Code 38055 Tax Year (Payable In) 2013 (2014) Township WHEELING Classification 5-93

PAYING LATE PLEASE PAY 08/02/14-09/01/14 \$85,466.44 09/02/14-10/01/14 \$86,729.49 10/02/14-11/01/14 \$87,992.54 LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2013 Tax | 2013 Rate | 2013 % | Pension | 2012 Tax- |
|--|-------------------|---------------|----------------|----------|-------------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 173.32 | 0.013 | 0.11% | | 143.78 |
| Metro Water Reclamation Dist-of Chicago | 5,559.58 | 0.417 | 3.46% | 546.62 | 4,836.12 |
| Indian Trails Public Library Wheeling | 6,719.49 | 0.504 | 4.18% | 239.98 | 6,051.68 |
| Wheeling Park District | 11,985.76 | 0.899 | 7.46% | 1,053.25 | 9,646.10 |
| Miscellaneous Taxes Total | 24,438.15 | 1.833 | 15.21% | | 20,677.68 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 5,919.55 | 0.444 | 3.68% | | 4,875.33 |
| Township HS District 214 (Arlington Hts) | 36,903.89 | 2.768 | 22.96% | 1,346.56 | 30,376.05 |
| Community Consolidated SD 21 (Wheeling) | 64,541.81 | 4.841 | 40.16% | 3,493.07 | 59,549.61 |
| School Taxes Total | 107,365.25 | 8.053 | 66.80% | | 94,800.99 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 18,985.24 | 1.424 | 11.81% | 5,132.94 | 14,874.33 |
| Road & Bridge Wheeling | 253.31 | 0.019 | 0.16% | | 209.13 |
| General Assistance Wheeling | 133.32 | 0.010 | 0.08% | | 117.64 |
| Town of Wheeling | 746.61 | 0.056 | 0.46% | | 679.67 |
| Municipality/Township Taxes Total | 20,118.48 | 1.509 | 12.51% | | 15,880.77 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 919.93 | 0.069 | 0.57% | 26.66 | 823.45 |
| Consolidated Elections | 413.30 | 0.031 | 0.26% | | 0.00 |
| County of Cook | 3,666.42 | 0.275 | 2.28% | 1,586.54 | 3,751.24 |
| Cook County Public Safety | 2,919.78 | 0.219 | 1.82% | | 2,365.78 |
| Cook County Health Facilities | 879.93 | 0.066 | 0.55% | | 823.45 |
| Cook County Taxes Total | 8,799.36 | 0.660 | 5.48% | | 7,763.92 |
| (Do not pay these totals) | 160,721.24 | 12.055 | 100.00% | | 139,123.36 |

TAX CALCULATOR

| | | | |
|-------------------------------------|------------|------------------------------------|------------|
| 2012 Assessed Value | 465,875 | 2013 Total Tax Before Exemptions | 160,721.24 |
| | | Homeowner's Exemption | .00 |
| 2013 Assessed Value | 500,820 | Senior Citizen Exemption | .00 |
| | | Senior Assessment Freeze Exemption | .00 |
| 2013 State Equalization Factor X | 2.6621 | | |
| 2013 Equalized Assessed Value (EAV) | 1,333,233 | 2013 Total Tax After Exemptions | 160,721.24 |
| 2013 Local Tax Rate X | 12.055% | First Installment | 76,517.85 |
| 2013 Total Tax Before Exemptions | 160,721.24 | Second Installment + | 84,203.39 |
| | | Total 2013 Tax (Payable In 2014) | 160,721.24 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$76,517.85 on 03-04-14

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CIRCLE
BOCA RATON FL 33496-2538

DETACH & INCLUDE WITH PAYMENT

TOTAL PAYMENT DUE

\$3,017.09

By 08/01/14 (on time)

2013 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-001-0000 Volume 231 Code 38055 Tax Year (Payable In) 2013 (2014) Township WHEELING Classification 5-80

PAYING LATE 08/02/14-09/01/14 09/02/14-10/01/14 10/02/14-11/01/14
 PLEASE PAY \$3,062.35 \$3,107.61 \$3,152.87

LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2013 Tax | 2013 Rate | 2013 % | Pension | 2012 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 6.91 | 0.013 | 0.11% | | 6.37 |
| Metro Water Reclamation Dist of Chicago | 221.66 | 0.417 | 3.46% | 21.79 | 214.32 |
| Indian Trails Public Library Wheeling | 267.91 | 0.504 | 4.18% | 9.56 | 268.19 |
| Wheeling Park District | 477.88 | 0.899 | 7.46% | 41.99 | 427.48 |
| Miscellaneous Taxes Total | 974.36 | 1.833 | 15.21% | | 916.36 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 236.02 | 0.444 | 3.68% | | 216.06 |
| Township HS District 214 (Arlington Hts) | 1,471.39 | 2.768 | 22.96% | 53.66 | 1,346.15 |
| Community Consolidated SD 21 (Wheeling) | 2,573.33 | 4.841 | 40.16% | 139.27 | 2,639.02 |
| School Taxes Total | 4,280.74 | 8.053 | 66.80% | | 4,201.23 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 756.96 | 1.424 | 11.81% | 204.65 | 659.18 |
| Road & Bridge Wheeling | 10.10 | 0.019 | 0.16% | | 9.27 |
| General Assistance Wheeling | 5.32 | 0.010 | 0.08% | | 5.21 |
| Town of Wheeling | 29.77 | 0.056 | 0.46% | | 30.12 |
| Municipality/Township Taxes Total | 802.15 | 1.509 | 12.51% | | 703.78 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 36.68 | 0.069 | 0.57% | 1.06 | 36.49 |
| Consolidated Elections | 16.48 | 0.031 | 0.26% | | 0.00 |
| County of Cook | 146.18 | 0.275 | 2.28% | 63.25 | 166.24 |
| Cook County Public Safety | 116.41 | 0.219 | 1.82% | | 104.84 |
| Cook County Health Facilities | 35.08 | 0.066 | 0.55% | | 36.49 |
| Cook County Taxes Total | 350.83 | 0.660 | 5.48% | | 344.06 |
| (Do not pay these totals) | 6,408.08 | 12.055 | 100.00% | | 6,165.43 |

TAX CALCULATOR

| | | | |
|-------------------------------------|----------|------------------------------------|----------|
| 2012 Assessed Value | 20,646 | 2013 Total Tax Before Exemptions | 6,408.08 |
| | | Homeowner's Exemption | .00 |
| | | Senior Citizen Exemption | .00 |
| | | Senior Assessment Freeze Exemption | .00 |
| 2013 Assessed Value | 19,968 | | |
| 2013 State Equalization Factor X | 2.8621 | | |
| 2013 Equalized Assessed Value (EAV) | 53,157 | 2013 Total Tax After Exemptions | 6,408.08 |
| 2013 Local Tax Rate X | 12.055% | First Installment | 3,390.99 |
| 2013 Total Tax Before Exemptions | 6,408.08 | Second Installment + | 3,017.09 |
| | | Total 2013 Tax (Payable In 2014) | 6,408.08 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$3,390.99 on 03-04-14

PROPERTY LOCATION

511 GLENN AVE
 WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
 3323 NW 53RD CR
 BOCA RATON FL 33496-2538

DETACH & INCLUDE WITH PAYMENT

TOTAL PAYMENT DUE

\$3,647.39

By 08/01/14 (on time)

2013 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-002-0000 Volume 231 Code 38055 Tax Year 2013 (Payable In) 2014 Township WHEELING Classification 5-80

PAYING LATE PLEASE PAY 08/02/14-09/01/14 \$3,702.10 09/02/14-10/01/14 \$3,756.81 10/02/14-11/01/14 \$3,811.52 LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2013 Tax | 2013 Rate | 2013 % | Pension | 2012 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 8.25 | 0.013 | 0.11% | | 7.53 |
| Metro Water Reclamation Dist of Chicago | 264.74 | 0.417 | 3.46% | 26.03 | 253.19 |
| Indian Trails Public Library Wheeling | 319.98 | 0.504 | 4.18% | 11.42 | 316.84 |
| Wheeling Park District | 570.76 | 0.899 | 7.46% | 50.15 | 505.02 |
| Miscellaneous Taxes Total | 1,163.73 | 1.833 | 15.21% | | 1,082.58 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 281.89 | 0.444 | 3.68% | | 255.25 |
| Township HS District 214 (Arlington Hts) | 1,757.35 | 2.768 | 22.96% | 64.12 | 1,590.34 |
| Community Consolidated SD 21 (Wheeling) | 3,073.45 | 4.841 | 40.16% | 166.33 | 3,117.72 |
| School Taxes Total | 5,112.69 | 8.053 | 66.80% | | 4,963.31 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 904.07 | 1.424 | 11.81% | 244.42 | 778.74 |
| Road & Bridge Wheeling | 12.06 | 0.019 | 0.16% | | 10.95 |
| General Assistance Wheeling | 6.35 | 0.010 | 0.08% | | 6.16 |
| Town of Wheeling | 35.55 | 0.056 | 0.46% | | 35.58 |
| Municipality/Township Taxes Total | 958.03 | 1.509 | 12.51% | | 831.43 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 43.81 | 0.069 | 0.57% | 1.26 | 43.11 |
| Consolidated Elections | 19.68 | 0.031 | 0.26% | | 0.00 |
| County of Cook | 174.60 | 0.275 | 2.28% | 75.55 | 196.40 |
| Cook County Public Safety | 139.04 | 0.219 | 1.82% | | 123.86 |
| Cook County Health Facilities | 41.90 | 0.066 | 0.55% | | 43.11 |
| Cook County Taxes Total | 419.03 | 0.660 | 5.48% | | 406.48 |
| (Do not pay these totals) | 7,653.48 | 12.055 | 100.00% | | 7,283.80 |

TAX CALCULATOR

| | | | |
|-------------------------------------|----------|------------------------------------|----------|
| 2012 Assessed Value | 24,391 | 2013 Total Tax Before Exemptions | 7,653.48 |
| 2013 Assessed Value | 23,849 | Homeowner's Exemption | .00 |
| 2013 State Equalization Factor X | 2.6621 | Senior Citizen Exemption | .00 |
| 2013 Equalized Assessed Value (EAV) | 63,488 | Senior Assessment Freeze Exemption | .00 |
| 2013 Local Tax Rate X | 12.055% | 2013 Total Tax After Exemptions | 7,653.48 |
| 2013 Total Tax Before Exemptions | 7,653.48 | First Installment | 4,006.09 |
| | | Second Installment + | 3,647.39 |
| | | Total 2013 Tax (Payable In 2014) | 7,653.48 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$4,006.09 on 03-04-14

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CR
BOCA RATON FL 33496-2538

DETACH & INCLUDE WITH PAYMENT

TOTAL PAYMENT DUE

\$956.70

By 08/01/14 (on time)

2013 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-013-0000 Volume 231 Code 38055 Tax Year (Payable In) 2013 (2014) Township WHEELING Classification 1-00

PAYING LATE 08/02/14-09/01/14 09/02/14-10/01/14 10/02/14-11/01/14
PLEASE PAY \$971.05 \$985.40 \$999.75

LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2013 Tax | 2013 Rate | 2013 % | Pension | 2012 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 2.73 | 0.013 | 0.11% | | 2.95 |
| Metro Water Reclamation Dist of Chicago | 87.42 | 0.417 | 3.46% | 8.59 | 99.26 |
| Indian Trails Public Library Wheeling | 105.66 | 0.504 | 4.18% | 3.77 | 124.21 |
| Wheeling Park District | 188.47 | 0.899 | 7.46% | 16.56 | 197.98 |
| Miscellaneous Taxes Total | 384.28 | 1.833 | 15.21% | | 424.40 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 93.08 | 0.444 | 3.68% | | 100.06 |
| Township HS District 214 (Arlington Hts) | 580.28 | 2.768 | 22.96% | 21.17 | 623.46 |
| Community Consolidated SD 21 (Wheeling) | 1,014.87 | 4.841 | 40.16% | 54.92 | 1,222.24 |
| School Taxes Total | 1,688.23 | 8.053 | 66.80% | | 1,945.76 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 298.53 | 1.424 | 11.81% | 80.71 | 305.29 |
| Road & Bridge Wheeling | 3.98 | 0.019 | 0.16% | | 4.29 |
| General Assistance Wheeling | 2.10 | 0.010 | 0.08% | | 2.41 |
| Town of Wheeling | 11.74 | 0.056 | 0.46% | | 13.95 |
| Municipality/Township Taxes Total | 316.35 | 1.509 | 12.51% | | 325.94 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 14.47 | 0.069 | 0.57% | 0.41 | 16.90 |
| Consolidated Elections | 6.50 | 0.031 | 0.26% | | 0.00 |
| County of Cook | 57.63 | 0.275 | 2.28% | 24.94 | 77.01 |
| Cook County Public Safety | 45.91 | 0.219 | 1.82% | | 48.56 |
| Cook County Health Facilities | 13.84 | 0.066 | 0.55% | | 16.90 |
| Cook County Taxes Total | 138.35 | 0.660 | 5.48% | | 159.37 |
| (Do not pay these totals) | 2,527.21 | 12.055 | 100.00% | | 2,855.47 |

TAX CALCULATOR

| | | | |
|-------------------------------------|----------|------------------------------------|----------|
| 2012 Assessed Value | 9,562 | 2013 Total Tax Before Exemptions | 2,527.21 |
| | | Homeowner's Exemption | .00 |
| 2013 Assessed Value | 7,875 | Senior Citizen Exemption | .00 |
| 2013 State Equalization Factor X | 2.6821 | Senior Assessment Freeze Exemption | .00 |
| 2013 Equalized Assessed Value (EAV) | 20,964 | 2013 Total Tax After Exemptions | 2,527.21 |
| 2013 Local Tax Rate X | 12.055% | First Installment | 1,570.51 |
| 2013 Total Tax Before Exemptions | 2,527.21 | Second Installment + | 956.70 |
| | | Total 2013 Tax (Payable In 2014) | 2,527.21 |

IMPORTANT MESSAGES

Thank you for your first installment payment of: \$1,570.51 on 03-04-14

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CR
BOCA RATON FL 33496-2538

DETACH & INCLUDE WITH PAYMENT

TOTAL PAYMENT DUE

\$956.70

By 08/01/14 (on time)

2013 Second Installment Property Tax Bill

Property Index Number (PIN) 03-11-410-014-0000 Volume 231 Code 38055 Tax Year (Payable In) 2013 (2014) Township WHEELING Classification 1-00

PAYING LATE PLEASE PAY 08/02/14-09/01/14 \$971.05 09/02/14-10/01/14 \$985.40 10/02/14-11/01/14 \$999.75

LATE INTEREST IS 1.5% PER MONTH, BY STATE LAW

TAXING DISTRICT BREAKDOWN

| Taxing District | 2013 Tax | 2013 Rate | 2013 % | Pension | 2012 Tax |
|--|-----------------|---------------|----------------|---------|-----------------|
| MISCELLANEOUS TAXES | | | | | |
| Northwest Mosq Abatement Dist Wheeling | 2.73 | 0.013 | 0.11% | | 2.95 |
| Metro Water Reclamation Dist of Chicago | 87.42 | 0.417 | 3.46% | 8.59 | 99.26 |
| Indian Trails Public Library Wheeling | 105.66 | 0.504 | 4.18% | 3.77 | 124.21 |
| Wheeling Park District | 188.47 | 0.899 | 7.46% | 16.56 | 197.98 |
| Miscellaneous Taxes Total | 384.28 | 1.833 | 15.21% | | 424.40 |
| SCHOOL TAXES | | | | | |
| Harper College Comm College 512 Palatine | 93.08 | 0.444 | 3.68% | | 100.06 |
| Township HS District 214 (Arlington Hts) | 580.28 | 2.768 | 22.96% | 21.17 | 623.46 |
| Community Consolidated SD 21 (Wheeling) | 1,014.87 | 4.841 | 40.16% | 54.92 | 1,222.24 |
| School Taxes Total | 1,688.23 | 8.053 | 66.80% | | 1,945.76 |
| MUNICIPALITY/TOWNSHIP TAXES | | | | | |
| Village of Wheeling | 298.53 | 1.424 | 11.81% | 80.71 | 305.29 |
| Road & Bridge Wheeling | 3.98 | 0.019 | 0.16% | | 4.29 |
| General Assistance Wheeling | 2.10 | 0.010 | 0.08% | | 2.41 |
| Town of Wheeling | 11.74 | 0.056 | 0.46% | | 13.95 |
| Municipality/Township Taxes Total | 316.35 | 1.509 | 12.51% | | 325.94 |
| COOK COUNTY TAXES | | | | | |
| Cook County Forest Preserve District | 14.47 | 0.069 | 0.57% | 0.41 | 16.90 |
| Consolidated Elections | 6.50 | 0.031 | 0.26% | | 0.00 |
| County of Cook | 57.63 | 0.275 | 2.28% | 24.94 | 77.01 |
| Cook County Public Safety | 45.91 | 0.219 | 1.82% | | 48.56 |
| Cook County Health Facilities | 13.84 | 0.066 | 0.55% | | 16.90 |
| Cook County Taxes Total | 138.35 | 0.660 | 5.48% | | 159.37 |
| (Do not pay these totals) | 2,527.21 | 12.055 | 100.00% | | 2,855.47 |

TAX CALCULATOR

| | | | |
|-------------------------------------|----------|------------------------------------|----------|
| 2012 Assessed Value | 9,562 | 2013 Total Tax Before Exemptions | 2,527.21 |
| 2013 Assessed Value | 7,875 | Homeowner's Exemption | .00 |
| 2013 State Equalization Factor X | 2.6621 | Senior Citizen Exemption | .00 |
| 2013 Equalized Assessed Value (EAV) | 20,964 | Senior Assessment Freeze Exemption | .00 |
| 2013 Local Tax Rate X | 12.055% | 2013 Total Tax After Exemptions | 2,527.21 |
| 2013 Total Tax Before Exemptions | 2,527.21 | First Installment | 1,570.51 |
| | | Second Installment + | 956.70 |
| | | Total 2013 Tax (Payable in 2014) | 2,527.21 |

IMPORTANT MESSAGES

- Thank you for your first installment payment of: \$1,570.51 on 03-04-14

PROPERTY LOCATION

511 GLENN AVE
WHEELING IL 60090 6015

MAILING ADDRESS

ANDREAS COMPANY
3323 NW 53RD CR
BOCA RATON FL 33496-2538

DETACH & INCLUDE WITH PAYMENT

Exhibit J

Architectural Plans or Schematic Drawings

The sales agreement between the current owner and 511 Glenn LLC is contingent on obtaining a 6B. Because of the contingency, there have not or will not be any architectural plans or drawings until the 6B is approved and the sale agreement becomes effective.

Exhibit K

Description of Total Cost and Extent of new Construction or Substantial Rehabilitation

This is re-occupancy and substantial rehabilitation of a vacant building. However, improvements, build outs, and repairs will be made to the building over the course of 2016 and 2017 to bring it to an acceptable standard for occupancy. Estimates of the costs are below.

| | |
|---|--------------------|
| 1. Replace / repair HVAC units (including roof top units), water heaters | \$44,177.00 |
| 2. Replace deteriorated brick, tuck point, waterproof entire building | \$192,420.00 |
| 3. Replace exterior doors and windows | \$21,243.00 |
| 4. Replace / repave asphalt parking lots and driveways | \$255,957.00 |
| 5. Replace concrete parking and driveway pads in front of building | \$89,265.00 |
| 6. Replace broken drain lines | \$10,418.00 |
| 7. Demolition of interior walls, reconfigure for renters specifications | \$12,000.00 |
| 8. Repair / paint all interior walls including warehouse | \$28,000.00 |
| 9. Demolition of existing flooring, replace new carpeting & tile | \$35,000.00 |
| 10. Renovate lunch room, bathrooms, common areas | \$25,000.00 |
| 11. Replace dead / overgrown landscaping with updated landscaping | \$10,000.00 |
| 12. Construct wood shop w/ cyclone dust collection system | \$20,000.00 |
| 13. Construct photo / video room for marketing & design group | \$10,000.00 |
| 14. Install energy efficient lighting and sound deadening in office areas | \$15,000.00 |
| Estimated Total: | <hr/> \$768,480.00 |

Exhibit L

Duration of Vacancy

The property consists of a 56,810 SF building located on a 157,452 SF site. The property has been partially vacant for 2013, 2014, 2015, and up to September 30, 2016. The owner, Hawk Electronics filed for partial vacancy tax relief.

As of September 30, 2016 the property is now fully vacated. At the time of this application the property has been vacant for thirty-one days.

511 Glenn was occupied by Hawk Electronics. Hawk Electronics' business model has dramatically changed...and not unlike so many other electronics companies, their business has been transferred over-seas. The owner-occupied Hawk was no longer able to sustain their building costs and had to move and put the property up for sale. Admittedly, they have neglected the building exterior since they took ownership of the space.

In 2013, 40% of the building was underutilized and vacant.

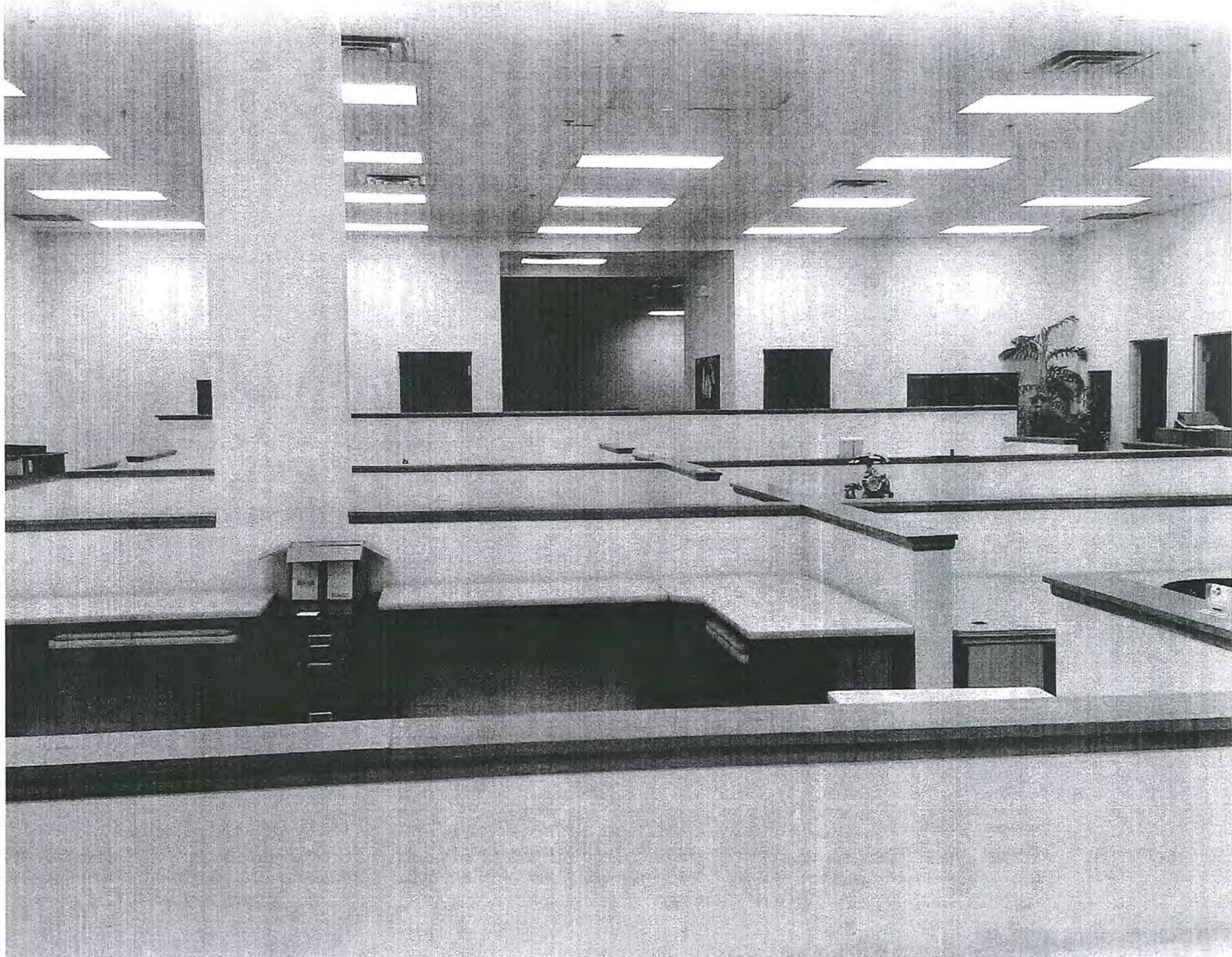
In 2014, 50% of the building was underutilized and vacant.

In 2015, 60% of the building was underutilized and vacant.

In 2016, 65% of the building was underutilized and vacant.

Exhibit L – photos of vacant facility
(8 images – office, assembly, and warehouse)





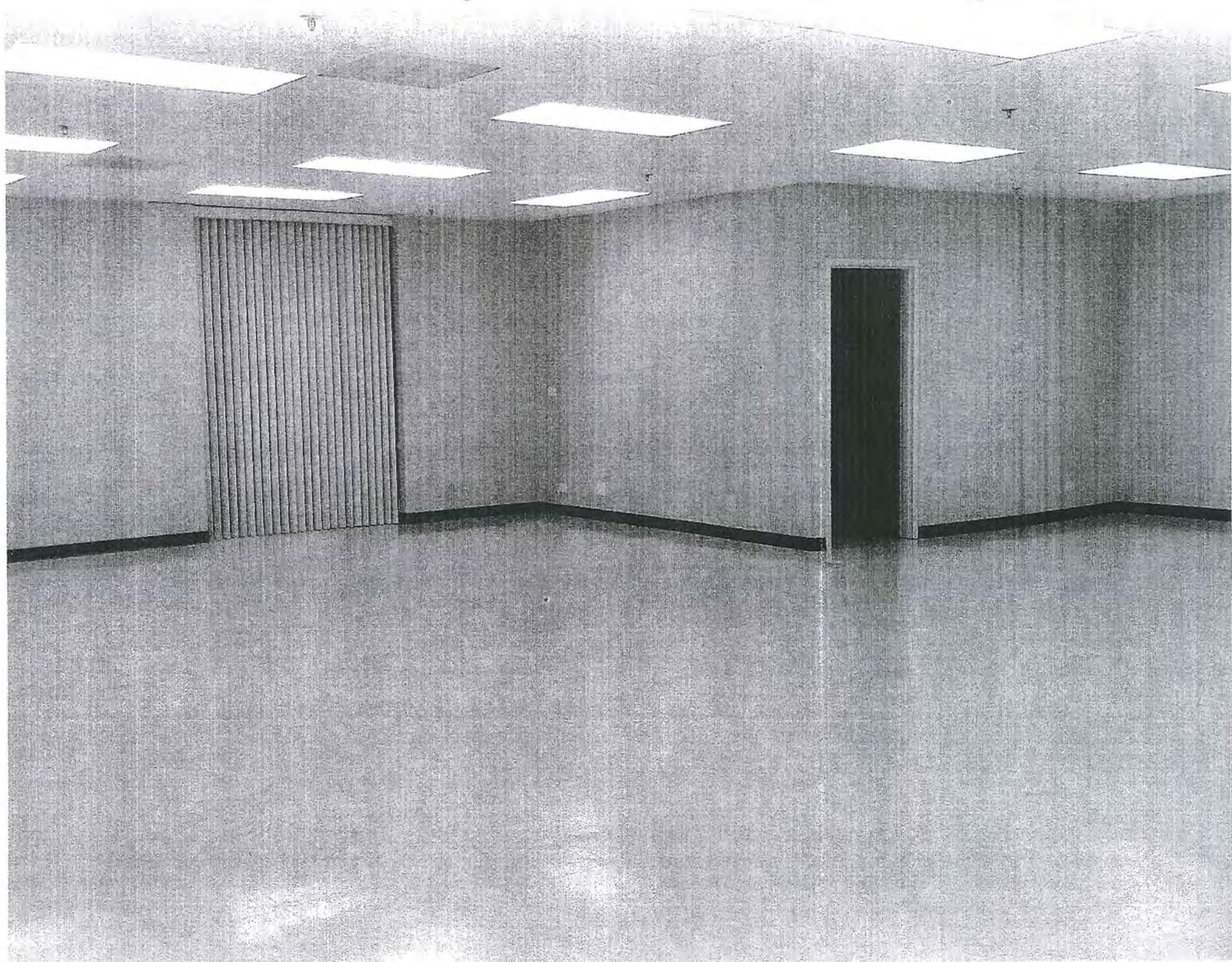












Exhibit L – attachment

Affidavit of Vacancy

Vacancy/Occupancy Affidavit

Cook County
Assessor's Office

2016 Appeal No: _____

I, Charles D. Poncher, being first duly sworn, on oath depose and say that I am the owner/managing agent of the property located at 511 Glenn Avenue in WHEELING (CITY), (PROPERTY INDEX NUMBER(S)) _____, subject of the above complaint, and that I have personal knowledge that the occupancy of the building(s) for the year 2016 is as follows:

| | Total Sq. Ft. of Commercial/Industrial Area Occupied * | Total Sq. Ft. of Commercial/Industrial Area Vacant * | Total Sq. Ft. of Commercial/Industrial Area ** | Condos or Apartments (Please circle) | | |
|-----------|--|--|--|--|--|---|
| | | | | Total Number of Residential Condos/Apartments Occupied | Total Number of Residential Condos/Apartments Vacant | Total Number of Residential Condos/Apartments |
| January | 33,000 | 22,000 | 57,000 | 0 | 0 | 0 |
| February | 33,000 | 22,000 | 57,000 | 0 | 0 | 0 |
| March | 33,000 | 22,000 | 57,000 | 0 | 0 | 0 |
| April | 33,000 | 22,000 | 57,000 | 0 | 0 | 0 |
| May | 33,000 | 22,000 | 57,000 | 0 | 0 | 0 |
| June | 33,000 | 22,000 | 57,000 | 0 | 0 | 0 |
| July | 33,000 | 22,000 | 57,000 | 0 | 0 | 0 |
| August | 33,000 | 22,000 | 57,000 | 0 | 0 | 0 |
| September | 0 | 57,000 | 57,000 | 0 | 0 | 0 |
| October | | | | 0 | 0 | 0 |
| November | | | | 0 | 0 | 0 |
| December | | | | 0 | 0 | 0 |
| Total | | | | 0 | 0 | 0 |

Total annual percent weighted vacancy of industrial/commercial space

45 %

Total annual percent weighted vacancy of Residential condo/apartments

0 %

* Include Commercial condos here.

(Please check all boxes that apply)

- Photos of the vacant space are included with this appeal
- Attempts to lease the vacant space were made. _____
(list all attempts made to lease vacant space)
- No attempts were made to lease the vacant space because: PROPERTY IS GOING TO BE SOLD

For vacancy appeals, the following information is needed: Three preceding years of actual historical income and expense information and a current year rent roll.

Subscribed and sworn before me,

this 30th day of September, 2016 at Wheeling
Myra L. Goldberg
Notary Public

Further affiant sayeth not.

Kenneth Ford
Affiant



Exhibit M

Special Circumstances

The Applicant, 511 Glenn LLC has been actively searching for a property / building for their prospective tenant, Bathing Brands / Accurate Industries that not only meets their growth projections based on their seven year business plan, but will alleviate their current space situation. The prospective tenant is currently located in a facility that is fifteen thousand square feet and has maximized the use of every square foot of space! There is no additional room for expansion for additional employees or materials.

It has always been their intention to try to stay in Wheeling, IL. The Village has offered Bathing Brands / Accurate Industries the opportunity to grow and they want to continue to contribute back to the growth and economy of the Village. Bathing Brands / Accurate Industries have looked at a number of buildings that they felt would meet their immediate and long term needs. 511 Glenn LLC was fortunate to find 511 Glenn Avenue, the size and location checks several very important boxes.

But the building is in need of repairs, improvements, and renovation in order to bring it up to acceptable standards for occupancy to meet the rest of their requirements. The other concern is they need to relocate as soon as possible. Bathing Brands / Accurate Industries can no longer sustain at their present location. This is the reason the applicant is asking that a special circumstance is granted by the Village of Wheeling, IL.

Bathing Brands / Accurate Industries needs to be in a larger facility that will accommodate their current operation immediately. They want to remain in Wheeling but the only way this can be done is through a 6B with special circumstances that will allow them to grow offering new jobs to local residents, continue to contribute to the Village's economy, and help revitalize the industrial sector of Wheeling.

Without the 6B Bathing Brands / Accurate Industries will be placed into a position to find and relocate to a building that would most likely be outside the Village of Wheeling, IL.

Though the subject property has not been vacant for twenty-four continuous months, the Applicant believes that there are "special circumstances" that exist that warrant the granting of the Class 6B Classification. In Appendix A of the Village of Wheeling Class 6B Application, the Village lists twelve possible points the Village will consider when reviewing an application based on abandonment. The subject property meets at least five of these factors:

- ✓ **AGE** – Structure is more than 45 years old.
- ✓ **OBSOLESCENCE** – The condition of falling into disuse because of: characteristics limiting the use and marketability of the facility.
- ✓ **DETERIORATION** – Physical deficiencies or disrepair in facility improvements requiring repair beyond normal circumstances.
- ✓ **DEPRECIATION OF MAINTENANCE** – The effects of deferred maintenance and lack of maintenance of the facility, improvements, and ground.
- ✓ **APPLICANT DESIRE TO RENOVATE OR REHABILITATE THE FACILITY**

AGE: The subject property was built in 1971 and is more than 45 years old.

OBSOLESCENCE: The applicant has a tenant for the subject property but only if the property undergoes significant improvements and repairs. These improvements and repairs are:

Exhibit M (continued)

1. Replace / repair HVAC units (including roof top units), water heaters
2. Replace deteriorated brick, tuck point, waterproof entire building
3. Replace exterior doors and windows
4. Replace / repave asphalt parking lots and driveways
5. Replace concrete parking and driveway pads in front of building
6. Replace broken drain lines
7. Demolition of interior walls, reconfigure for renter's specifications
8. Repair / paint all interior walls including warehouse
9. Demolition of existing flooring, replace new carpeting & tile
10. Renovate lunch room, bathrooms, common areas
11. Replace dead / overgrown landscaping with updated landscaping
12. Construct wood shop w/ cyclone dust collection system
13. Construct photo / video room for marketing & design group
14. Install energy efficient lighting and sound deadening in office areas

Additionally the facility's warehouse height clearance is 18' which compared to modern facilities being built today is a low clearance.

DETERIORATION: The applicant will have to make extensive improvements and repairs to the exterior and interior of the facility to bring it to an acceptable standard for occupancy for the prospective tenant. The exterior of the building was largely left alone for a number of years leading to the deterioration and disrepair of the brick exterior, parking lots, and concrete driveways.

DEPRECIATION OF MAINTENANCE:

The facility has been partially vacant for over a year and as of September 30, 2016 is at 100% vacancy. Due to deferred maintenance because of a drastic down turn in the past owner's business and staff reduction, the facility is in need of extensive improvements and repairs to bring the facility to acceptable standards for the prospective tenant.

APPLICANT DESIRES TO RENOVATE OR REHABILITATE THE FACILITY:

In order to make the facility acceptable for the prospective tenant, the Applicant is allocating approximately \$768,480.00 over the course of 2016 and 2017 to make extensive improvements and repairs to the facility. This rehabilitation will include, but will not be limited to the following improvements and repairs:

1. Replace / repair HVAC units (including roof top units), water heaters
2. Replace deteriorated brick, tuck point, waterproof entire building
3. Replace exterior doors and windows
4. Replace / repave asphalt parking lots and driveways
5. Replace concrete parking and driveway pads in front of building
6. Replace broken drain lines
7. Demolition of interior walls, reconfigure for renter's specifications
8. Repair / paint all interior walls including warehouse
9. Demolition of existing flooring, replace new carpeting & tile
10. Renovate lunch room, bathrooms, common areas
11. Replace dead / overgrown landscaping with updated landscaping
12. Construct wood shop w/ cyclone dust collection system
13. Construct photo / video room for marketing & design group
14. Install energy efficient lighting and sound deadening in office areas

Exhibit N

Employment Projections

- | | | |
|---|--|----------|
| 1 | Temporary Employment Positions (repairs, build out, renovations) | 10 to 12 |
|---|--|----------|

The prospective tenant, Bathing Brands / Accurate Industries have provided the following employment projections if the Village of Wheeling grants the 6B Classification with Special Circumstances to the Applicant. Other wise they will have no choice but to look outside the Village of Wheeling for a suitable facility.

- | | | |
|---|---|----|
| 2 | Permanent Employment Positions 2016 Transferring to 511 Glenn | 35 |
| 3 | Employment Projection – Three Year 2019 (+10) | 45 |
| 4 | Employment Projection – Five Year 2020 (+15) | 60 |
| 5 | Employment Projection – Ten Year 2026 (+13) | 73 |

Note: No part time positions are projected

Exhibit O

Financial Statements

511 Glenn LLC is newly formed; accordingly, it does not currently have any annual financial statements.

Exhibit P

Fiscal Effect

511 Glenn LLC (the "Applicant") plans to purchase the property located at 511 Glenn Avenue in Wheeling, IL (PINS: 03-11-33-026-0000, 03-11-41-013-0000, 03-11-410-001-0000, 03-11-410-014-0000, and 03-11-410-02-0000). The applicant has a prospective tenant, Bathing Brands, Inc. (Db: Accurate Industries) for the property, only if the 6B Classification is granted by the Village of Wheeling. Bathing Brands / Accurate Industries are a fiscally sound company that will utilize the facility for sales, distribution, design, and service.

As the property has been partially vacant for over a year and as of September 30, 2016 is fully vacant, it is now in need of extensive improvements and repairs to bring the facility to an acceptable level for occupancy for the prospective tenant. The Applicant has budgeted \$768,480.00 over the course of 2016 and 2017 for the extensive improvements and repairs.

Once the Applicant purchases, rehabilitates and rents the property to Bathing Brands / Accurate Industries, the property has the potential to generate significant property tax revenue for the Village of Wheeling. Bathing Brands / Accurate Industries will not be able to afford the rental rate if the Class 6B is not granted and will not rent the property. It is doubtful that any potential buyer would be able to purchase the property and rehabilitate it without a 6B Classification in place and it will likely sit vacant for a substantial period of time.

Granting a property vacancy relief at the Cook County Assessor's Office means that the Cook County Assessor's Office lowers a property's overall building assessment due to the property being vacant (typically, 80% of the building assessed value is removed). Although the Class 6B Incentive will lower the assessment level from 25% to 10% for an industrial property for ten years, 15% for year eleven, and 20% for year twelve, the property will generate a greater tax even with a Class 6B Incentive than it would if it were to remain on vacancy relief. This is because an occupied building, along with the significant capital improvement the Applicant will invest in the property, should raise the overall assessment of the property.

Additionally, should the property remain vacant for an extended period of time, it will require even more rehabilitation and may become an eyesore to the community and potentially be a place for vandalism and other illegal activities. By rehabilitating the property and renting it to the prospective tenant, the Applicant will be improving the site, preventing unwanted activities and most likely increasing the property's value as well as the property values in the immediate area.

The Applicant will create 10 to 12 construction jobs for the planned improvements. Additionally, the prospective tenant will bring upwards of 73 jobs once they achieve their seven year business plan. The Village of Wheeling can expect both the temporary construction jobs as well as the 73 full time positions the tenant will bring, contribute to and invest commercially back into the community by visiting local restaurants, stores, gas stations, housing, and more. The Village of Wheeling can also expect the prospective tenant will attract other business and various customers to the Village in its course of doing business.

In conclusion, there are various quantified economic benefits the Village of Wheeling will receive should the Applicant be granted the Class 6B Incentive in order to rehabilitate and lease the property. However, without a Class 6B Incentive, the Applicant will not be able to purchase and rehabilitate the property and lease to the prospective tenant Bathing Brands / Accurate Industries (the sale of the property is contingent on securing the Class 6B Incentive).

Attached is a chart detailing the property tax revenues using three scenarios:

- 1 Fully occupied, no class 6B incentive
- 2 Remain vacant, receives vacancy relief
- 3 Fully occupied, receives class 6B incentive

Exhibit P

Fiscal Effect - Estimated Tax Information

| Year | 2015 | | | Full Occupancy - w/o 6B | | | Full Vacancy w/o 6B - Vacancy Relief | | | Full Occupancy with 6B | | | |
|--|----------|------------|------------------------|-------------------------|------------------|------------------------|--------------------------------------|------------------|----------------------|------------------------|---|-----------------------|------------------------|
| | Tax Rate | Multiplier | Est.Effective Tax Rate | 2015 Assessed Value | Assessment Level | 2015 Taxes Paid | Assessed Value * | Assessment Level | Estimated Tax w/o 6B | Assessed Value ** | Assessment Level | Estimated Tax with 6B | |
| 2017 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2018 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2019 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2020 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2021 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2022 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2023 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2024 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2025 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2026 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 10% | \$ 79,865.91 | |
| 2027 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 15% | \$ 119,798.86 | |
| 2028 | 13.353 | 2.6685 | 35.6298 | \$ 560,387.00 | 25% | \$ 199,679.70 | \$ 105,016.52 | 25% | \$ 37,417.18 | \$ 560,387.00 | 20% | \$ 159,731.81 | |
| Total Estimated Taxes | | | | | | \$ 2,396,156.40 | Total Estimated Taxes | | | \$ 449,006.13 | Total Estimated Taxes | | \$ 1,078,189.74 |
| Calculation: Assessed Value x Effective Tax Rate | | | | | | | | | | | Calculation: Assessed Value x Effective Tax Rate x Estimated Reduction in assessment level - 60% savings yrs 1-10, 40% yr 11, 20% yr 12 | | |

* Estimated market value reflects 80% of the assessed value removed due to vacancy

** Assessed value does not include property value with building and land improvements, rehabilitation

Exhibit Q

Other Inducements

There are no other financial inducements being sought for 511 Glenn Avenue – Wheeling, IL.

Exhibit R

Justification for Class 6B Incentive

511 Glenn LLC or its assignee (the "Applicant") plans to purchase the property located at 511 Glenn Avenue in Wheeling, IL (PINS: 03-11-33-026-0000, 03-11-41-013-0000, 03-11-410-001-0000, 03-11-410-014-0000, 03-11-410-02-0000). The applicant has a prospective tenant, Bathing Brands / Accurate Industries for the property, only if the 6B Classification is granted by the Village of Wheeling. The tenant is a fiscally sound company that will utilize the facility for sales, distribution, and service.

As the property has been partially vacant for over a year and as of September 30, 2016 is fully vacant, it is now in need of extensive improvements and repairs to bring the facility to an acceptable level for occupancy for the prospective tenant. The Applicant has allocated \$768,480.00 over 2016 and 2017 for the extensive improvements and repairs.

Since costs of the real estate taxes will be passed to the prospective tenant through its rental rates, the Applicant knows the prospective tenant will only be interested in the property if a Class 6B Incentive is granted, as the rent payment would be too high without the Class 6B Incentive. The Applicant came to this conclusion by comparing the potential rental rates with and without a Class 6B Incentive. The current rental rates in the area; the market rental net rental rate for the property is \$4.00 per square foot.

| | <u>With Class 6B</u> | <u>Without Class 6B</u> |
|--|----------------------|-------------------------|
| Net Rental Rate (\$4.00/SF net – market) | \$227,240.00 | \$227,240.00 |
| Tax Reimbursement | \$79,881.00 | \$199,680.00 |
| Gross Rental Rate | \$307,121.00 | \$426,920.00 |
| Gross Rental Rate per Square Foot | \$5.40 | \$7.52 |

Based on the Applicant's review of the market, it does not believe the property will support a rental rate of above \$6.00/SF. The projected rental rate of the property without the Class 6B Incentive is \$7.52/SF; the Applicant feels very strongly that the prospective tenant will not lease the property without the Class 6B Incentive.

So in conclusion, the Applicant's purchase of the property, and extensive improvements and repairs, is contingent upon the Applicant being granted a Class 6B Incentive. Without it the Applicant will not be able to purchase the property and the prospective tenant will look outside the Village of Wheeling for a suitable facility.

**VILLAGE OF WHEELING
LEGISLATIVE COVER MEMORANDUM**

AGENDA ITEM NO(S): 13.D 1 & 2
(To be inserted by Deputy Clerk)

DATE OF BOARD MEETING: Monday, November 21, 2016

TITLE OF ITEM SUBMITTED:

- An Ordinance Granting a Variation from Title 19, Zoning, of the Wheeling Municipal Code Relating to Required Parking, 800 Northgate Parkway [Docket No. 2016-22]
- An Ordinance Granting Site Plan and Building Appearance Approval for a Speculative Industrial Development [Docket No. PC 16-12]

SUBMITTED BY: Andrew C. Jennings
Director of Community Development

BASIC DESCRIPTION OF ITEM¹: The petitioner is requesting a zoning variation to construct landbanked parking, and site plan and building appearance approval to construct a speculative industrial building. The proposed building is an 181,000 sq. ft. building designed for 40,000 sq. ft. suites and featuring 35 dock doors and two drive-in doors.

BUDGET²: N/A

BIDDING³: N/A

EXHIBIT(S) ATTACHED: Ordinances
Staff Report
Draft Findings of Fact and Recommendation
Memo from Fire Department
Photos of existing conditions (staff)
Cover letter
Site and architectural plans (15 sheets)
Engineering plans (22 sheets)
Fire truck turning exhibit
ALTA Survey
Traffic study (56 sheets)

RECOMMENDATION: To approve

**SUBMITTED FOR BOARD
CONSIDERATION:** **VILLAGE MANAGER**

¹ *The purpose of the proposed item and a description of same. If the issue is site specific, such as an annexation or road improvement, a map must be attached to the memorandum.*

² *If applicable, provide all budgetary considerations as follows: is the item covered in the current budget; fund(s) the item is to be charged to; expenses per fund(s) and total cost; and necessary transfer(s) or supplemental appropriation(s).*

³ *If applicable, describe the bidding process and results for purchases and contracts. If applicable, state whether or not any particular city, state or federal program was considered*

REQUEST FOR BOARD ACTION

TO: Jon Sfondilis
Village Manager

FROM: Andrew C. Jennings
Director of Community Development

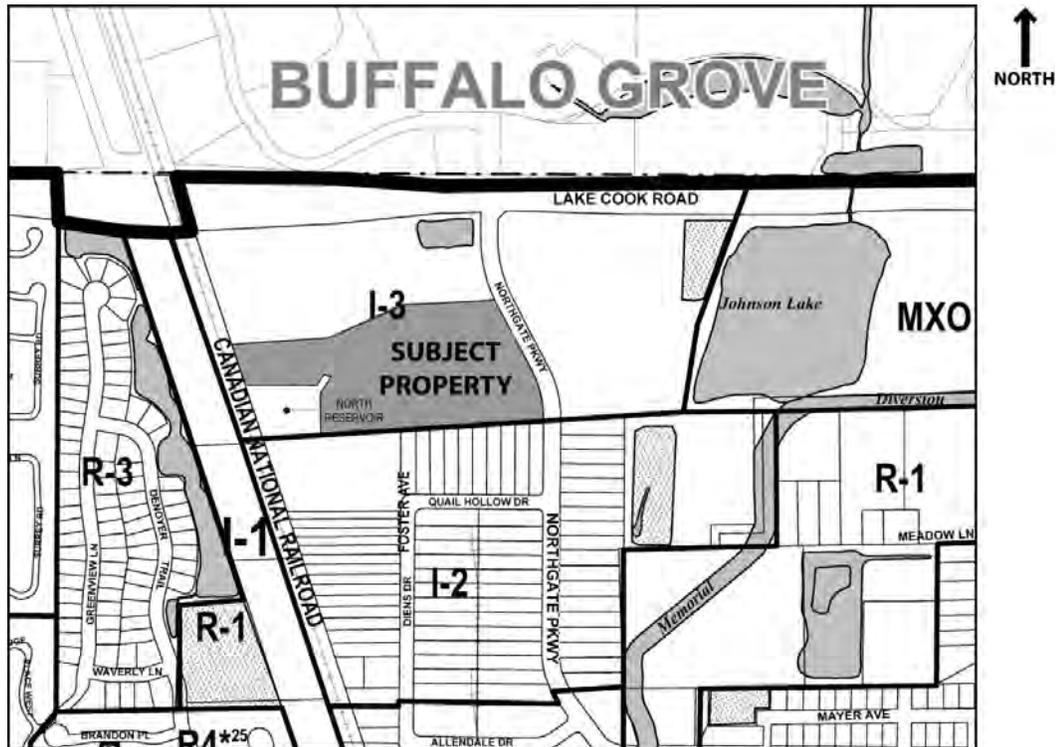
DATE: November 17, 2016

Docket Nos. 2016-22 & PC 16-12

Hamilton Partners
800 Northgate Parkway
(2016-22) Variation from Title 19, Zoning, regarding
required parking
industrial (PC 16-12) Site Plan & Appearance Approval for a speculative
development

PROJECT OVERVIEW: The petitioner is seeking a zoning variation for reduction in required parking to provide landbanked parking and site plan and appearance approval to construct a new speculative industrial facility in the I-3 General Industrial District.

LOCATION MAP:



PLAN COMMISSION RECOMMENDATION

At the Plan Commission hearing on Thursday, November 3, 2016, the following motions were made:

Request for Board Action

Page 2 of 9

RE: Plan Commission Docket Nos. 2016-22 & PC 16-12

Variation from Title 19, Zoning

Commissioner Dorband moved, seconded by Commissioner Johnson to recommend approval of Docket No. 2016-22, granting a variation from Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19.11 General Development Standards, Chapter 19.11 General Development Standards, Section 19.11.010 Off-Street Parking and Loading, Section E Parking Standards, Subsection 1 Minimum Required Parking per Land Use Category, and associated sections, to reduce the required parking for speculative industrial uses from 272 to 198 in order to accommodate a plan for landbanked parking, in accordance with the site plan submitted September 21, 2016, for an industrial development to be located at 800 Northgate Parkway, Wheeling, Illinois, subject to the following condition:

1. That prior to building occupancy, a covenant shall be recorded against the property indicating that the landbanked parking will be constructed upon determination from the Village that the additional parking is necessary.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Dorband, Issakoo, Johnson, Powers, Ruffatto, Zangara

NAYS: None

ABSENT: None

PRESENT: None

ABSTAIN: None

There being seven affirmative votes, the motion was approved.

Site Plan and Building Appearance Approval

Commissioner Powers moved, seconded by Commissioner Zangara to recommend approval of PC 16-12, granting site plan and appearance approval as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-07 Industrial Districts and Chapter 19-12, Site Plan Approval Requirements, in order to construct a new speculative industrial development in accordance with the following exhibits submitted by Hamilton Partners on September 21, 2016 (except as noted), for the undeveloped property known as 800 Northgate Parkway, Wheeling, Illinois:

- Cover letter
- Site plan
- Northwest building perspective plan
- Northeast building perspective plan
- North and east building elevations plan
- South and west building elevations plan (10.31.2016)
- Landscape plans (3 sheets)
- Photometric plan
- Lighting specs (6 sheets)
- Engineering plans (22 sheets)
- Fire truck turning exhibit
- ALTA Survey
- Traffic study (56 sheets) (10.04.2016)

Request for Board Action

Page 3 of 9

RE: Plan Commission Docket Nos. 2016-22 & PC 16-12

And with the following conditions:

1. That the Village shall have continuous access to the water tower site throughout construction;
2. That prior to occupancy, the existing Village access easement shall be vacated;
3. That prior to occupancy, a new easement granting the Village access through the site to the Village water tower site shall be executed;
4. That landscape irrigation shall be provided in accordance with the code;
5. That the truck turning radius exhibit may be adjusted at final engineering; and
6. That the number of dock doors on the south elevation shall match the number of dock doors on the site plan (dated September 21, 2016).

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Dorband, Issakoo, Johnson, Powers, Ruffatto, Zangara

NAYS: None

ABSENT: None

PRESENT: None

ABSTAIN: None

There being seven affirmative votes, the motion was approved.

GENERAL PROPERTY INFORMATION

| | | |
|---|--|------------------------------|
| <u>Applicant Name:</u> | Mike | Wauterlek, Hamilton Partners |
| <u>Property Owner:</u> | HP | Wheeling 1 LLC |
| <u>Common Property Address:</u> | 800 Northgate Parkway | |
| <u>Common Location:</u> | Located on the west side of Northgate Parkway, north of Quail Hollow Drive and South of Lake Cook Road | |
| <u>Neighboring Property Land Use(s):</u> | North: Industrial | |
| | West: Single-Family Residential | |
| | South: Industrial | |
| | East: Industrial | |
| <u>Comprehensive Plan Designation:</u> | Industrial | |
| <u>Property Size:</u> | 13.95 | acres |
| <u>Existing Use of Property:</u> | Undeveloped | |
| <u>Proposed Use of Property:</u> | Speculative | industrial |
| <u>Existing Property Zoning:</u> | I-3 | General Industrial District |
| <u>Previous Zoning Action on Property:</u> | None. | |

DESCRIPTION OF PROPOSAL

The petitioner, Hamilton Partners, is proposing to construct a large speculative warehouse/distribution development on a vacant parcel in the I-3 General Industrial District. The development requires site plan and appearance review and a variation request for landbanked parking. The building is a 181,000 sq. ft. industrial building designed to be divided into 40,000 sq. ft. suites. The building would include 35 dock doors and two drive-in doors.

The plans include access to the Village water tower site, which is located just beyond the southwest edge of the subject property.

SITE PLAN REVIEW

Scale of Site Plan: 1" = 60' (reduced)

Proposed General Site Layout: Driveways are proposed for the north and south ends of the site, from Northgate Parkway. The north entry will be exclusively for employee/visitor parking. The south entry will accommodate employees/visitors and truck traffic. An access road loops the north and south parking areas. A future (landbank) parking area for 90 stalls is proposed at the west end of the site. All truck docks are located on the south side of the building. This "truck court" will also accommodate employee parking, as needed. Since the site is being developed as speculative industrial space, the plan is accommodating a mix of industrial uses. If access to the dock doors is necessary, and less employee parking is required for the industrial users, then employees will not park in the "truck court." An access road is also planned to connect to the existing Village water tower site.

Total Number of Parking Spaces: The speculative industrial use of the building requires parking at a ratio of 2/1,000 sq. ft. Because the building is greater than 80,000 sq. ft., it qualifies for a 25% parking reduction. Therefore, the total parking requirement for the site is 272 spaces (1.5/1000). The petitioner is proposing a total of 288 spaces, of which 90 will be landbanked for future use (if necessary). Ninety-seven parking spaces will be located in the main employee lot north of the building, 40 spaces are located in the "truck court," and 61 spaces are located south of the truck court, near the south property line.

The proposal requires a variation for the landbanked parking stalls. If the landbanked parking is not constructed, the total parking deficit is 74. Without the landbanked parking, the project has a parking ratio of 1.09 stalls / 1,000 sq. ft. With the landbanked parking, the project has a parking ratio of 1.59 stalls / 1,000 sq. ft., which is greater than the parking requirement of 1.5 / 1000 (25% parking reduction applied).

The parking variation will require that a covenant be recorded against the property prior to occupancy. Such covenant will grant the Village discretion in determining if and when (due to the current mix of uses for the building) the landbanked parking will be constructed.

Site Access to the Village Water Tower: As shown on the ALTA survey, the Village has an ingress and egress easement along the roadway near the south property line of the subject property to the Village's water tower site, which is located just southeast of the subject property. This easement will need to be vacated upon redevelopment of the site. Furthermore, a new access easement will need to be granted to the Village for future access to the water tower site. Staff has added conditions of approval to the Site Plan and Appearance motion to address these easements.

Ownership: The applicant is the property owner.

Trash Enclosure: No centralized trash enclosure is proposed. At the October 27th hearing, the petitioner indicated that trash would be held indoors and carted outdoors for pickups.

Site Lighting: A full photometric plan and light fixture details have been provided. The plan includes a mix of building-mounted and pole-mounted fixtures.

Sidewalks: There is an existing public walk on the west side of Northgate Parkway.

Landscaping Plan: The landscaping plan includes foundation plantings, primarily near the building entries and also along the east side of the building. The foundation plantings include a mix of hydrangea, wintercreeper, Covey Weeping Redbuds, Autumn Brilliance Serviceberries, and boxwoods. Trees are provided in the parking lot islands in the north parking lot. Detailed plant lists are also provided for the wetland and detention areas. A variety of deciduous, coniferous, and ornamental trees are planned along the perimeter of the site. The balance of the pervious site, including the landbanked parking area to the west, will be seeded for turf grass.

Landscape Irrigation: No reference to irrigation is noted in the plans. The Plan Commission added a condition of approval that irrigation is required per code.

BUILDING APPEARANCE REVIEW

Building Size: The building will be 181,049 sq. ft. The total height of the building to the top of the parapet wall is 40 feet. The ceiling height will be 32 feet. The maximum allowed building height in the I-3 District is 40 feet.

Exterior Building Materials/Colors: The proposed building is comprised of exterior pre-cast concrete panels. The primary building color appears to be an off-white or cream color with multiple accent colors. The building entrances are located at the northeast and northwest corners of the building. The entry points of the building include a two-story glass façade. The first floor entries include a storefront window and door system. Clearstory windows are repeated on each façade. Between the use of clearstory windows and a pattern of colors in the concrete, the long walls are sufficiently broken up.

On November 3rd, building elevations were provided for all four facades.

Material Samples Provided: Material and color samples were provided at the meeting.

HVAC/Mechanical Components Screened: The location of mechanical units is not provided. The Plan Commission discussed screening with the petitioner on October 27th. The petitioner indicated that screening units will be mounted to the rooftop units and that the screening would be consistent with the building design (louvered system).

Exterior Downspouts: At the October 27th hearing, the petitioner indicated the downspouts will be internal.

STANDARDS FOR VARIATION

Following are standards for variation with petitioner's responses. *The petitioners' response to the following questions has been shown in italics.* **Staff comments are in bold.**

1. State how the particular physical surroundings, shape, or topographical condition of the specific property involved would result in a practical difficulty or particular hardship upon or for the owner, lessee or occupant, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.

"It has been our experience that distributors are significantly more likely to lease an industrial property in this geographic area. Distributors typically require less car parking than manufacturers. Our proposed site plan allows for car parking expansion should we locate a manufacturer or a distributor with a non-typical parking requirement."

If not granted the variation, the applicant would need to construct the parking in the proposed landbank area to the west of the building.

2. Indicate how the hardship is due to unique circumstances that do not generally apply to the other properties or uses.

"Competitive properties in the area will not be required to provide the parking required per village code. As a result, the cost of constructing additional car parking will become an economic burden to the project."

The proposed parking requirement is based upon a spec requirement of 2/1,000. The petitioner indicates the actual parking needs of this development will be much lower than the Village's parking requirement.

3. Describe how the alleged difficulty or hardship has not been created by any person presently having an interest in the property.

"This hardship is not the result of actions taken by the applicant."

The applicant indicates the parking demand is based upon the market, which is inconsistent with the parking requirements of the Zoning Code.

4. State how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.

“The leasing market for industrial properties is extremely competitive. If the property is leased to a distributor, the parking lot to the west and cost associated with constructing it will become a detriment to the project.”

Without the parking variation, the project may not be developed.

5. State how the granting of the variation will not alter the essential character of the locality.

“The area consists of various types of warehouse uses with varying facility needs. The proposed building coverage will allow for maximum future flexibility of uses.”

There is no likely impact on the character of the area related to the variation.

6. Describe how the proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

“The attached traffic study states that the proposed development will not adversely impact traffic in the area. The proposed development will have a positive impact on property values in the surrounding area.”

No impact is expected as a result of the granting of the variation.

CONDITIONS FROM PLAN COMMISSION RECOMMENDATION

The Plan Commission recommendation for Docket No. 2016-22 (Zoning Variation) included one condition of approval. The recommendation for Docket No. PC 16-12 (Site Plan and Building Appearance Approval) included six conditions of approval. Staff is suggesting a seventh condition to Docket No. 16-12, which is indicated in bold. The following conditions of approval appear in their respective draft ordinances:

Condition for Parking Variation

1. That prior to building occupancy, a covenant shall be recorded against the property indicating that the landbanked parking will be constructed upon determination from the Village that the additional parking is necessary.

Conditions for Site Plan and Building Appearance Approval

1. That the Village shall have continuous access to the water tower site throughout construction;
2. That prior to occupancy, the existing Village access easement shall be vacated;
3. That prior to occupancy, a new easement granting the Village access through the site to the Village water tower site, shall be executed;
4. That landscape irrigation shall be provided in accordance with the code;
5. That the truck turning radius exhibit may be adjusted at final engineering;
6. That the number of dock doors on the south elevation shall match the number of dock doors on the site plan (dated September 21, 2016); and
7. **That site plan and appearance approval is subject to the approval of Docket No. 2016-22 (parking variation).**

**MODIFICATIONS TO PLANS FOLLOWING PLAN COMMISSION
RECOMMENDATION**

There have been no changes since the Plan Commission hearing on November 3, 2016.

STAFF REVIEW

Fire Department Review : The Fire Department has submitted comments dated October 20, 2016. The comments can be addressed at building permit, including the truck turning radius exhibit.

Engineering Division Review : The Engineering Division has received the plans and indicated that the submittal is complete and that it does not appear that there will be any issues satisfying the engineering requirements for the property. The wetland impact areas have already been addressed by MWRD.

Impact on adjacent uses: No significant impact on adjacent uses is expected.

Staff Recommended Action to Plan Commission: Staff recommended that the Plan Commission discuss the following prior to making a recommendation:

- Determine the location of refuse;
- Determine if utilities have been properly screened;
- Review the building materials and colors;
- Discuss the landscape irrigation requirement; and
- Determine how the Fire Department concerns regarding truck turning radius can be accommodated.

DIRECTOR OF COMMUNITY DEVELOPMENT RECOMMENDATION

I concur with the Plan Commission's recommendation to approve the requested zoning variation to allow for landbanked parking and to approve the site plan-building appearance for the new speculative industrial development. Two ordinances are attached for the Board's consideration.



Andrew C. Jennings
Director of Community Development

Attachments: Ordinances (precedes this report)
Draft Findings of Fact and Recommendation
Memo from Fire Department
Photos of existing conditions (staff)
Cover letter

Request for Board Action

Page 9 of 9

RE: Plan Commission Docket Nos. 2016-22 & PC 16-12

Site plan
Northwest building perspective plan
Northeast building perspective plan
North and east building elevations plan
South and west building elevations plan (10.31.2016)
Landscape plans (3 sheets)
Photometric plan
Lighting specs (6 sheets)
Engineering plans (22 sheets)
Fire truck turning exhibit
ALTA Survey
Traffic study (56 sheets) (10.04.2016)



MEMO – Fire Prevention Bureau

TO: Brooke Jones, Village Planner
FROM: Ronald S. Antor, Fire Inspector
CC: Andrew Jennings, Director of Community Development
Keith Maclsaac, Fire Chief
FPB File
DATE: October 20, 2016
SUBJECT: Proposed Spec Warehouse – 800 Northgate Parkway - Plans received for review by the Fire Department, September 30, 2016.

The Wheeling Fire Department has reviewed the submittals received related to the above referenced project and has the following comments:

Site Plan

1. The site plan reviewed includes a new 181,049 square foot, spec warehouse building with office space. The space has the ability to be used by multiple tenants and not necessarily a single tenant.
2. The address included with the submittal documents, 800 Northgate Parkway does not fit the village's grid addressing for the site. The address needs to be revised to fit in with the addressing ranges on Northgate Parkway.
3. A turning radius analysis was included, but only showed one travel route for the site. Additional documentation needs to be provided showing access around the site for both north and southbound traffic on Northgate Parkway entering into each of the properties driveways.
4. Based on the one turning radius sample provided:
 - a. Modifications are required for the parking lot and drive based on the turning radius analysis provided due to vehicle movement into on-coming traffic areas or over the curbing at the perimeter of the drive.
5. The fire apparatus access routes shall be capable of supporting fire apparatus with a gross vehicle weight of 85,000 pounds.
6. Fire lanes shall be posted as required by the Fire Department.
7. The site water main improvements shall comply with all Village of Wheeling Municipal Codes which includes, but is not limited to the "Manual of Practice for the Design of Public & Private Improvements" and the 2012 Edition of the International Fire Code. Water main improvements required would include:
 - a. A looped watermain shall be provided around the site serving the sprinkler system water supply and site hydrants.

Ms. Brooke Jones

SUBJECT: Proposed Spec Warehouse – 800 Northgate Parkway - Plans received for review by the Fire Department, September 30, 2016.

October 20, 2016

Page 2

- b. A separate fire service supply and domestic supply is required instead of the single service shown on the submittal documents.
 - i. The fire service supply main size shall be based on the building's needed fire flow.
 - ii. Fire hydrants shall not be placed on the building's fire service supply.
 - c. Fire hydrants shall be located around the site with spacing not to exceed 300 feet.
 - d. A fire hydrant shall be provided within 50' of the building's Fire Department Connection Location (FDC).
8. Trees and light fixtures along the drives that are fire access routes shall not hang over the drives/parking lots in a manner that hinders Fire Department access. A minimum of 13'6" overhead clearance shall be provided over the fire apparatus access routes.
 9. A clear space of at least 4-feet shall be maintained around the circumference of any fire hydrants. This includes light fixtures, transformers, and landscaping.
 10. The building's Fire Department connection shall be located at the front of the building or at another location as approved by the Fire Department.
 11. Site landscaping features, utilities, or similar obstructions shall not impede access to fire protection equipment, i.e. building Fire Department Connection (FDC). The FDC location shown on the submittal documents is blocked by vehicle parking and is therefore not permitted.

Spec Warehouse – 800 Northgate Parkway – A new Office/Warehouse building

1. Based on the information provided for review, the proposed building would be a mixed use occupancy comprising of B (Business) and S (Storage) Use Group Occupancies as defined in the 2012 Edition of the International Building (IBC) and Fire Prevention Codes (IFC).
2. All construction for the new building would need to comply with the Village's Building and Fire Prevention Codes (2012 Editions of the International Building Code & International Fire Code – with amendments). Some of the code requirements that this would include are:
 - a. Height/area requirements based on construction type and use.
 - b. The building is required to be fully sprinklered with a system designed and installed in accordance with NFPA 13 (Including rack storage).
 - c. The building is required to be provided with a monitored fire alarm system designed and installed in accordance with NFPA 72.

At this time there are no other Fire Department comments related to the project as presented in the documents reviewed.

ORDINANCE NO. _____

**AN ORDINANCE GRANTING SITE PLAN AND BUILDING APPEARANCE
APPROVAL FOR A SPECULATIVE INDUSTRIAL DEVELOPMENT
AT 800 NORTHGATE PARKWAY**

WHEREAS, the Plan Commission of the Village of Wheeling has held a public meeting on October 27, 2016, continued to November 3, 2016, to consider a request for Site Plan and Building Appearance Approval as required under Chapter 19-07 Industrial Districts, Section 19.07.040 I-3 General Industrial District, Chapter 19-12 Site Plan Approval Requirements, and Chapter 19-11 General Development Standards, to construct a speculative industrial development at 800 Northgate Parkway, Wheeling, Illinois; and

WHEREAS, the site plan as shown would require a variation from Title 19, Zoning, of the Wheeling Municipal Code, as described in Docket No. 2016-22;

WHEREAS, the Plan Commission of the Village of Wheeling has reviewed the petitioner's request for site plan and building appearance approval, as described in the Findings of Fact and Recommendation for the related variation in Docket No. 2016-22, recommending to the President and Board of Trustees that the petitioner's request be granted, with a vote of 7 ayes, 0 nays, and 0 absent; and

WHEREAS, the President and Board of Trustees deem it to be in the best interest of the Village to grant the petitioner's request, subject to conditions;

NOW THEREFORE BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS:

Section A

Site Plan and Building Appearance Approval are hereby granted under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-07 Industrial Districts, Section 19.07.040 I-3 General Industrial District, Chapter 19-12 Site Plan Approval Requirements; and Chapter 19-11 General Development Standards, to construct a speculative industrial development in accordance with the following exhibits submitted by Hamilton Partners on September 21, 2016 (except as noted), for the undeveloped property known as 800 Northgate Parkway, Wheeling, Illinois, hereinafter legally described:

- Cover letter
- Site plan
- Northwest building perspective plan
- Northeast building perspective plan
- North and east building elevations plan
- South and west building elevations plan (10.31.2016)

- Landscape plans (3 sheets)
- Photometric plan
- Lighting specs (6 sheets)
- Engineering plans (22 sheets)
- Fire truck turning exhibit
- ALTA Survey
- Traffic study (56 sheets) (10.04.2016)

LEGAL DESCRIPTION:

LOT 2 OF JOHNSON'S LAKE-COOK SUBDIVISION BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 26, 1986 AS DOCUMENT NUMBER 86619027, IN COOK COUNTY, ILLINOIS.

(The above described property is located at 800 Northgate Parkway, and is zoned I-3 General Industrial District.)

Section B

Site Plan Approval granted in Section A of this ordinance is subject to the following conditions:

1. That site plan and appearance approval is subject to the approval of Docket No. 2016-22 (parking variation);
2. That the Village shall have continuous access to the water tower site throughout construction;
3. That prior to occupancy, the existing Village access easement shall be vacated;
4. That prior to occupancy, a new easement granting the Village access through the site to the Village water tower site, shall be executed;
5. That landscape irrigation shall be provided in accordance with the code;
6. That the truck turning radius exhibit may be adjusted at final engineering; and
7. That the number of dock doors on the south elevation shall match the number of dock doors on the site plan (dated September 21, 2016).

Section C

This Ordinance shall be in full force and effect from and after its passage and approval, according to law.

Trustee _____ moved, seconded by Trustee _____,

that Ordinance No. _____ be passed, this _____ day of _____, 2016.

President Argiris _____

Trustee Lang _____

Trustee Brady _____

Trustee Papantos _____

Trustee Krueger _____

Trustee Vito _____

Trustee Vogel _____

Dean S. Argiris
Village President

ATTEST:

Elaine E. Simpson, Village Clerk

APPROVED AS TO FORM ONLY:

Village Attorney

PUBLISHED in pamphlet form this _____ day of _____, 2016, by order of the Corporate Authorities of the Village of Wheeling, Cook and Lake Counties, Illinois.

ORDINANCE NO. _____

**AN ORDINANCE GRANTING A VARIATION FROM TITLE 19, ZONING, OF THE
WHEELING MUNICIPAL CODE RELATING TO REQUIRED PARKING
AT 800 NORTHGATE PARKWAY**

WHEREAS, the Plan Commission of the Village of Wheeling has held a public hearing, duly noticed, on October 27, 2016, continued to November 3, 2016 to consider the petitioner's request for variations from Title 19, Zoning, of the Wheeling Municipal Code, relating to minimum required parking, in order to construct a speculative industrial development at 800 Northgate Parkway, Wheeling, Illinois; and

WHEREAS, the Plan Commission of the Village of Wheeling has reported its Findings of Fact and Recommendation for Docket No. 2016-22, which includes the review of Docket No. PC 16-12, Site Plan and Building Appearance Approval, to the President and Board of Trustees, recommending that the petitioner's request be granted, with a vote of 7 ayes, 0 nays, and 0 absent; and

WHEREAS, the President and Board of Trustees deem it to be in the best interest of the Village to grant the petitioner's request;

NOW THEREFORE BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS:

Section A

This Board of Trustees, after considering the Findings of Fact and Recommendation of the Plan Commission and other matters properly before it, hereby finds:

- The particular physical surroundings, shape, or topographical condition of the specific property involved would result in a practical difficulty or particular hardship upon or for the owner, lessee or occupant, as distinguished from a mere inconvenience, if the strict letter of the regulations were carried out.
- The hardship is due to unique circumstances that do not generally apply to the other properties or uses.
- The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations in that zone.
- The alleged difficulty or hardship has not been created by any person presently having an interest in the property.
- The granting of the variation will not alter the essential character of the locality.

- The proposed variation will not impair an adequate supply of light and air to adjacent property, or substantially increase congestion in the public streets, or increase the danger of fire, or endanger the public safety, or substantially diminish or impair property values within the neighborhood.

Section B

A variation is hereby granted from Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19.11 General Development Standards, Section 19.11.010 Off-Street Parking and Loading, Section E Parking Standards, Subsection 1 Minimum Required Parking per Land Use Category, and associated sections, as shown on the Site Plan received September 21, 2016, prepared by Ware Malcomb, on behalf of Hamilton Partners, for a speculative industrial development to be located at 800 Northgate Parkway, legally described below, in order to:

1. Reduce the required parking from 272 to 198 stalls, as calculated based upon at 181,049 sq. ft. speculative industrial building; and
2. Allow 90 stalls to be landbanked.

LEGAL DESCRIPTION:

LOT 2 OF JOHNSON'S LAKE-COOK SUBDIVISION BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 26, 1986 AS DOCUMENT NUMBER 86619027, IN COOK COUNTY, ILLINOIS.

(The above described property is located at 800 Northgate Parkway, and is zoned I-3 General Industrial District.)

Section C

The variation granted in Sections B of this Ordinance is subject to the following condition:

1. That prior to building occupancy, a covenant shall be recorded against the property indicating that the landbanked parking will be constructed upon determination from the Village that the additional parking is necessary.

Section D

This Ordinance shall be in full force and effect from and after its passage and approval, according to law.

Trustee _____ moved, seconded by Trustee _____,

that Ordinance No. _____ be passed, this _____ day of _____, 2016.

President Argiris _____ Trustee Lang _____
Trustee Brady _____ Trustee Papantos _____
Trustee Krueger _____ Trustee Vito _____
Trustee Vogel _____

Dean S. Argiris
Village President

ATTEST:

Elaine E. Simpson, Village Clerk

APPROVED AS TO FORM ONLY:

Village Attorney

PUBLISHED in pamphlet form this _____ day of _____, 2016, by order of the Corporate Authorities of the Village of Wheeling, Cook and Lake Counties, Illinois.

Hamilton Partners – 800 Northgate Parkway

**Docket No. 2016-22 and PC 16-12 (Zoning Variation Related to Required Parking and Site Plan & Appearance Approval of a Speculative Industrial Development)
Plan Commission Meetings – October 27, 2016 & November 3, 2016**



Existing conditions along Northgate Parkway (looking west)

HAMILTON PARTNERS

August 29th, 2016

RE: 800 Northgate Wheeling, Illinois

To Whom It May Concern:

Hamilton Partners was formed in 1987 after a core group of partners separated from Trammell Crow's Midwest operations. Hamilton Partners has since grown to be one of the largest privately held real estate development firms in the central US with a total portfolio of over 25 million square feet and a conservative market value in excess of \$2 billion. Our portfolio consists of office, industrial, apartment and retail with projects in Chicago, Salt Lake City, Denver, Milwaukee and Raleigh Durham.

The property at 800 Northgate gives us an opportunity to expand upon an existing portfolio located at Lake Cook Road and Johnson Drive totaling in excess of 1,000,000 square feet. The proposed property will be the most functional industrial property in the area totaling 181,049 square feet with the ability to be demised to approximately 40,000 square foot suites. The proposed facility will offer 32' clear heights, 35 dock doors, 2 drive in doors, high efficiency lighting, a 130' truck court, and the highest car parking ratio in the submarket for similar properties.

Hamilton Partners' business model has been to construct quality properties with an infinite holding period. We look forward to partnering with the Village of Wheeling on this project and others over the years to come.

Mike Wauterlek
Hamilton Partners Real Estate
300 Park Boulevard, Suite 201
Itasca, Illinois 60143

Exhibit received September 21, 2016



PROJECT DATA:

SITE AREA:
 GROSS: 13.95 AC (607,585 SF)
 DETENTION: 1.57 AC (68,431 SF) @11%
 NET: 12.4 AC (539,154 SF)
 (LESS WETLANDS, DETENTION & AREA N.I.C.)

TOTAL BUILDING AREA: 181,049 SF

COVERAGE: 33.58% (NET)

AUTO PARKING:
 PROPOSED: 97 STALLS
 FUTURE: 90 STALLS
 FUTURE TOTAL: 187 STALLS

DRIVE-IN DOORS: 2 POSITIONS

DOCK DOORS: 35 POSITIONS

- ◀ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR

This conceptual design is based upon a preliminary review of entitlement requirements and on unverified and possibly incomplete site and/or building information, and is intended merely to assist in exploring how the project might be developed.

1" = 60'





KEY NOTES

- 1 STRUCTURAL PRE-CASET CONCRETE PANELS WITH 3/4" REVEALS TYPICAL. ANTI GRAFFITI SEAL / PAINT 1, PAINT 2, ACCENT COLOR PAINT 3
- 2 DUAL HIGH PERFORMANCE VISION GLASS CLEARSTORY GLAZING
- 3 DUAL HIGH PERFORMANCE VISION GLASS
- 4 STOREFRONT WINDOW WITH 2" ANODIZED ALUMINUM MULLIONS (ARCADIA AB-1)

North West Building Perspective

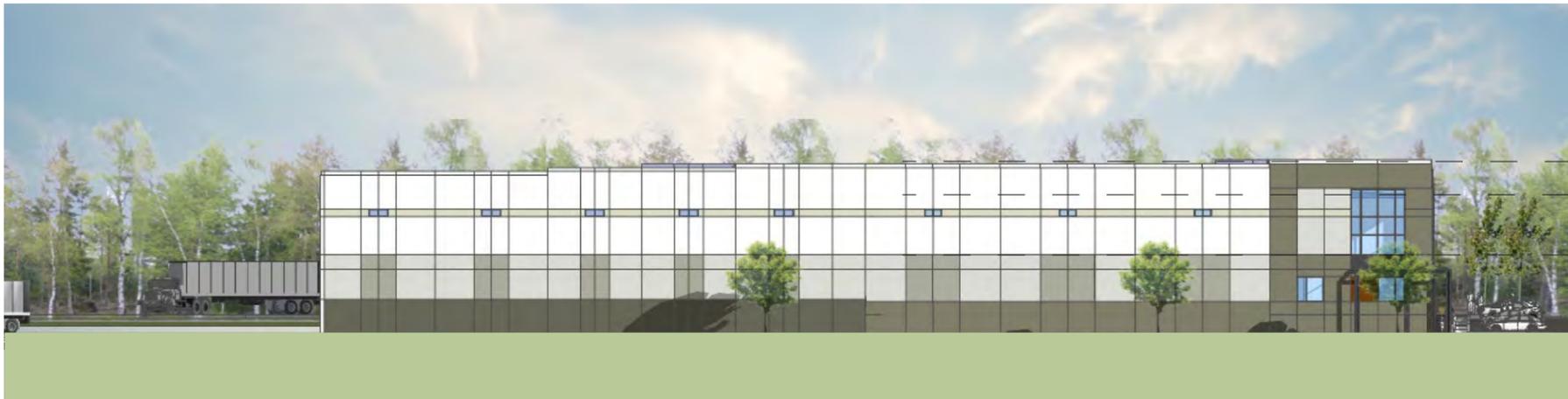


North East Building Perspective



TOP OF PARAPET 40'-0"
 CLEAR HEIGHT 32'-0"
 OPTIONAL 2ND FLOOR 14'-0"
 FINISH GRADE 0'-0"

North Building Elevation



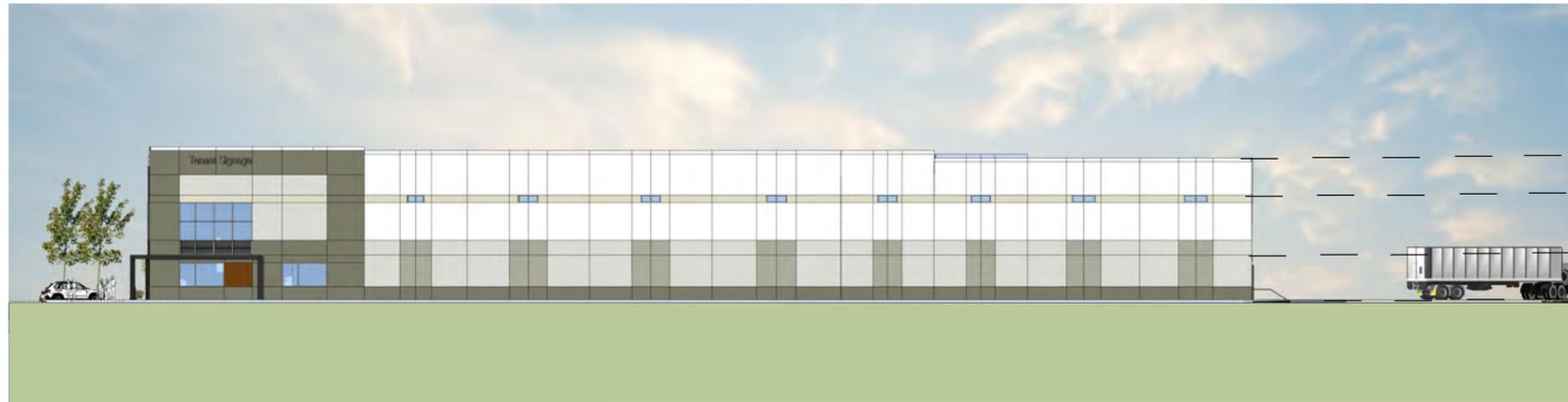
TOP OF PARAPET 40'-0"
 CLEAR HEIGHT 32'-0"
 OPTIONAL 2ND FLOOR 14'-0"
 FINISH GRADE 0'-0"

East Building Elevation



TOP OF PARAPET
40'-0"
CLEAR HEIGHT
32'-0"
OPTIONAL 2ND FLOOR
14'-0"
FINISH GRADE
0'-0"

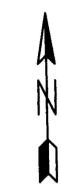
South Building Elevation



TOP OF PARAPET
40'-0"
CLEAR HEIGHT
32'-0"
OPTIONAL 2ND FLOOR
14'-0"
FINISH GRADE
0'-0"

West Building Elevation

| REVISIONS | BY |
|-----------|----|
| 08.31.16 | |
| 09.20.16 | |



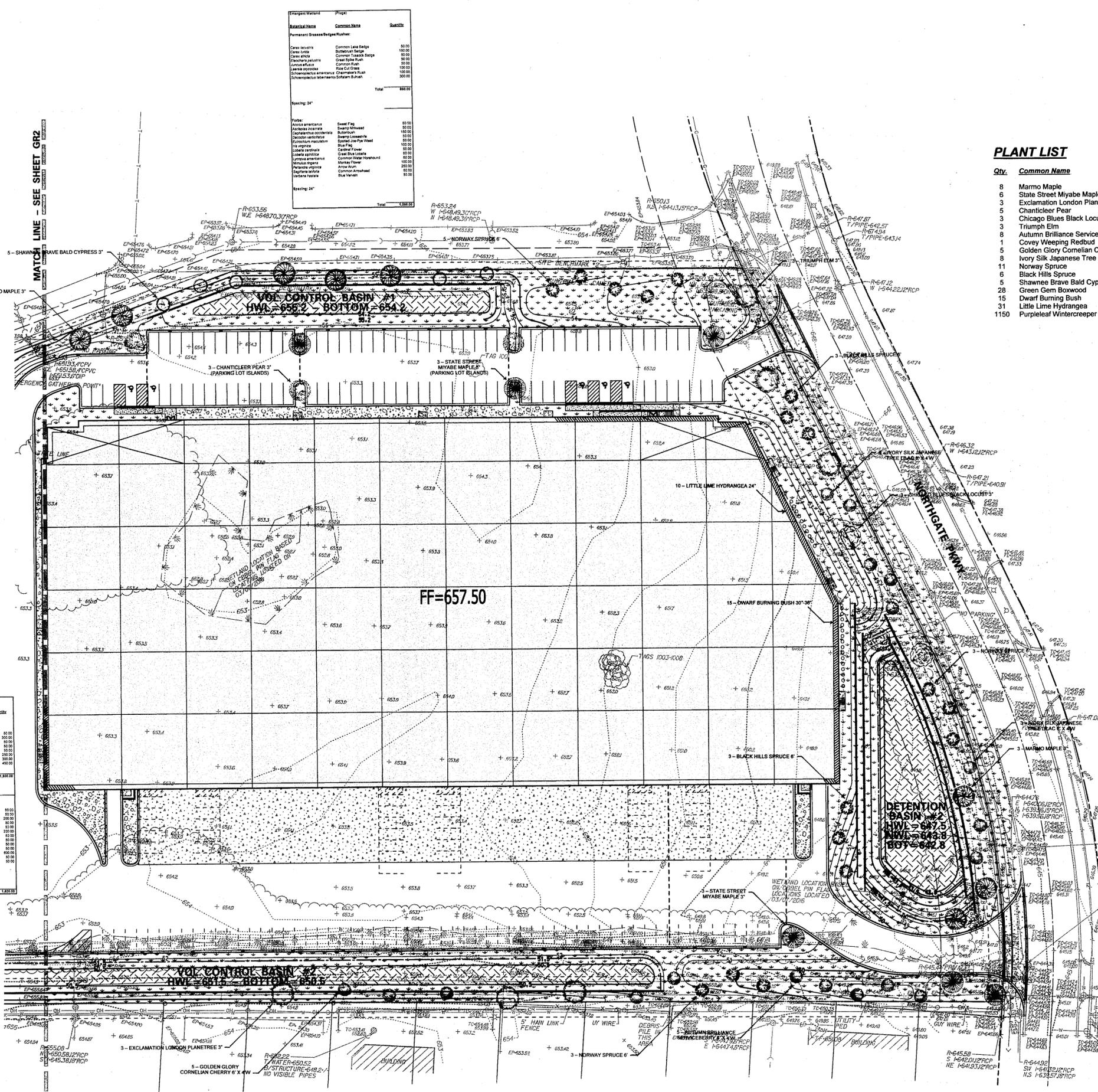
Dowden Landscape Design
 P.O. Box 415, Libertyville, IL 60048
 Phone: (847) 362-1254
 Email: dowdenassoc@sbcglobal.net



LANDSCAPE PLAN

PROPOSED OFFICE/WAREHOUSE
 750 NORTHGATE PARKWAY
 WHEELING, ILLINOIS

Date 08.25.16
 Scale 1"=40'
 Drawn CJD
 Job
 Sheet
L - 1.0



PLANT LIST

| Qty. | Common Name | Botanical Name | Size | Remarks |
|------|--------------------------------|--------------------------------------|----------|---------|
| 8 | Marmo Maple | Acer freemanii 'Marmo' | 3" | B&B |
| 6 | State Street Miyabe Maple | Acer miyabei 'Morton' | 3" | B&B |
| 3 | Exclamation London Planetree | Platanus acerifolia 'Morton Circle' | 3" | B&B |
| 5 | Charicleer Pear | Pyrus calleryana 'Chanticleer' | 3" | B&B |
| 3 | Chicago Blues Black Locust | Robinia pseudoacacia 'Chicago Blues' | 3" | B&B |
| 3 | Triumph Elm | Ulmus carpinifolia 'Morton Glossy' | 3" | B&B |
| 8 | Autumn Brilliance Serviceberry | Amelanchier grandiflora | 6' x 4'w | B&B |
| 1 | Covey Weeping Redbud | Cercis canadensis 'Covey' | 2' x 4' | B&B |
| 5 | Golden Glory Cornelian Cherry | Cornus mas 'Golden Glory' | 6' x 4'w | B&B |
| 8 | Ivory Silk Japanese Tree Lilac | Syringa reticulata 'Ivory Silk' | 6' x 4'w | B&B |
| 11 | Norway Spruce | Picea abies | 6' | B&B |
| 6 | Black Hills Spruce | Picea glauca 'Densata' | 6' | B&B |
| 5 | Shawnee Brave Bald Cypress | Taxodium distichum 'Shawnee Brave' | 3" | B&B |
| 28 | Green Gem Boxwood | Buxus 'Green Gem' | 24" | Cont. |
| 15 | Dwarf Burning Bush | Euonymus alata 'Compacta' | 30"-36" | B&B |
| 31 | Little Lime Hydrangea | Hydrangea paniculata 'Jane' | 24" | Cont. |
| 1150 | Purpleleaf Wintercreeper | Euonymus fortunei 'Coloratus' | 3" | Pots |

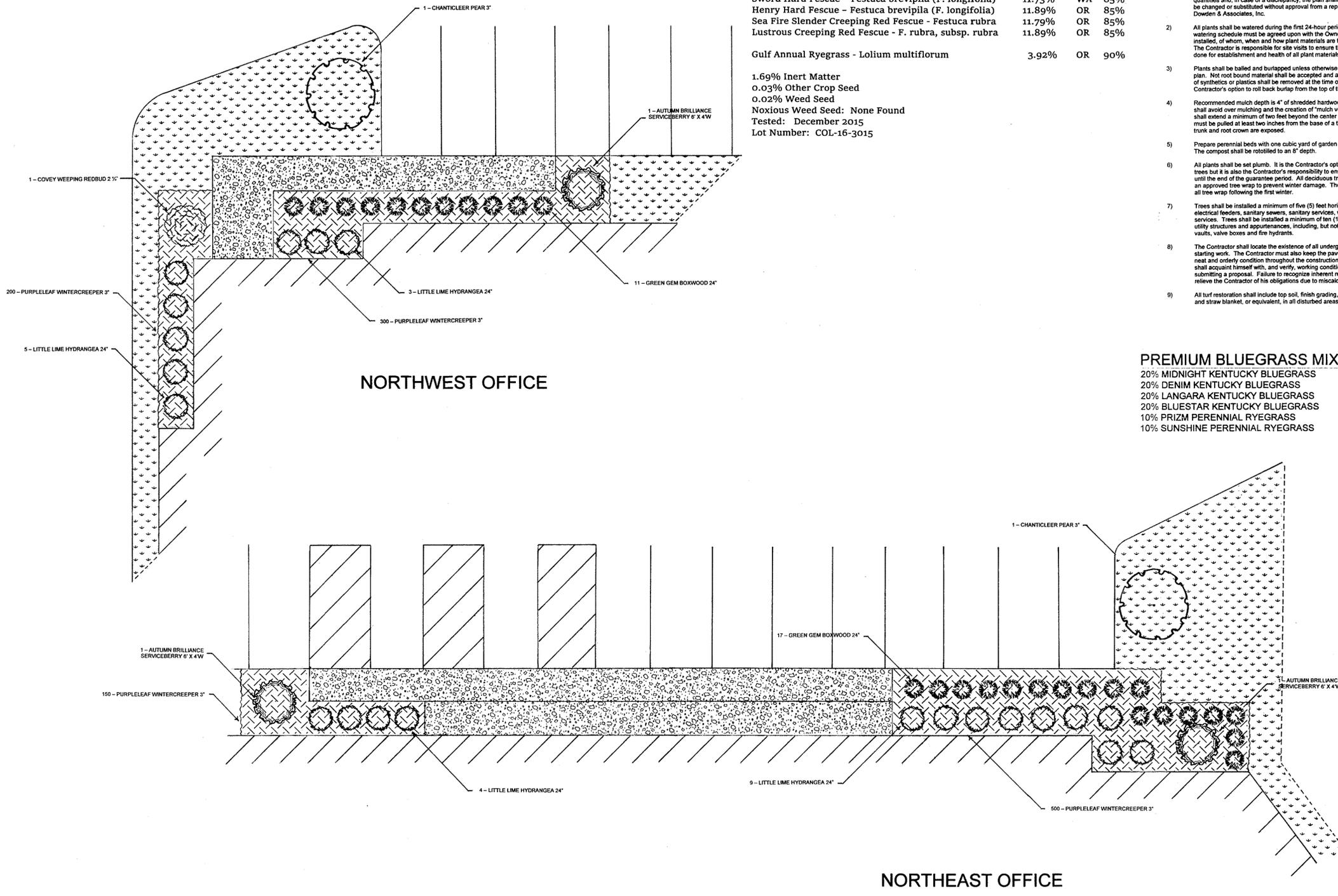
| Botanical Name | Common Name | Quantity |
|--|----------------------|----------|
| Permanent Grasses/Regrasses/Rhizomes: | | |
| Carex acutata | Common Lake Sedge | 80.00 |
| Carex lasiocarpa | Bottlebrush Sedge | 160.00 |
| Carex stricta | Common Tussock Sedge | 80.00 |
| Deschampsia cespitosa | Great Spike Rush | 80.00 |
| Luzula sylvatica | Common Rush | 80.00 |
| Luzula spicata | Rice Cut Grass | 80.00 |
| Scleropogon americanus | Chamberlain's Rush | 200.00 |
| Scleropogon tobriensis | Softstem Bulrush | 80.00 |
| Total: 1,000.00 | | |
| Spacing: 24" | | |
| Perfor: | | |
| Aster amurensis | Sweet Flag | 80.00 |
| Asplenium platyneuron | Swamp Milkweed | 80.00 |
| Calamagrostis canadensis | Buttonbush | 200.00 |
| Desmodium illinoense | Swamp Loosestrife | 100.00 |
| Eupatorium maculatum | Spotted Joe-Pye Weed | 100.00 |
| Impatiens | Blue Flag | 100.00 |
| Lobelia cardinalis | Cardinal Flower | 80.00 |
| Lobelia spicata | Great Blue Lobelia | 80.00 |
| Lysichiton americanus | Common Water Horshoe | 80.00 |
| Monarda spicata | Monardella | 80.00 |
| Parthenocissus vitacea | Arrow Arum | 80.00 |
| Podophyllum peltatum | Common Aronwood | 80.00 |
| Yucca filamentosa | Blue Yucca | 80.00 |
| Total: 1,000.00 | | |
| Spacing: 24" | | |

| Botanical Name | Common Name | Quantity |
|--|----------------------|----------|
| Permanent Grasses/Regrasses/Rhizomes: | | |
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| Luzula sylvatica | Common Rush | 80.00 |
| Luzula spicata | Rice Cut Grass | 80.00 |
| Scleropogon americanus | Chamberlain's Rush | 200.00 |
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| Total: 1,000.00 | | |
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| Perfor: | | |
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| Asplenium platyneuron | Swamp Milkweed | 80.00 |
| Calamagrostis canadensis | Buttonbush | 200.00 |
| Desmodium illinoense | Swamp Loosestrife | 100.00 |
| Eupatorium maculatum | Spotted Joe-Pye Weed | 100.00 |
| Impatiens | Blue Flag | 100.00 |
| Lobelia cardinalis | Cardinal Flower | 80.00 |
| Lobelia spicata | Great Blue Lobelia | 80.00 |
| Lysichiton americanus | Common Water Horshoe | 80.00 |
| Monarda spicata | Monardella | 80.00 |
| Parthenocissus vitacea | Arrow Arum | 80.00 |
| Podophyllum peltatum | Common Aronwood | 80.00 |
| Yucca filamentosa | Blue Yucca | 80.00 |
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| Eupatorium maculatum | Spotted Joe-Pye Weed | 100.00 |
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| Lysichiton americanus | Common Water Horshoe | 80.00 |
| Monarda spicata | Monardella | 80.00 |
| Parthenocissus vitacea | Arrow Arum | 80.00 |
| Podophyllum peltatum | Common Aronwood | 80.00 |
| Yucca filamentosa | Blue Yucca | 80.00 |
| Total: 1,000.00 | | |
| Spacing: 24" | | |

Exhibit received September 21, 2016

| REVISIONS | BY |
|-----------|----|
| 08.31.16 | |
| 09.20.16 | |
| | |
| | |
| | |
| | |



No Mow with Annual Rye - Item #50092

| Item | Percent | Origin | Germ |
|---|---------|--------|------|
| Shadow II Chewings Fescue - Festuca commutata | 23.69% | OR | 80% |
| Quatro Sheep Fescue - Festuca ovina | 23.35% | OR | 85% |
| Sword Hard Fescue - Festuca brevipila (F. longifolia) | 11.73% | WA | 85% |
| Henry Hard Fescue - Festuca brevipila (F. longifolia) | 11.89% | OR | 85% |
| Sea Fire Slender Creeping Red Fescue - Festuca rubra | 11.79% | OR | 85% |
| Lustrous Creeping Red Fescue - F. rubra, subsp. rubra | 11.89% | OR | 85% |
| Gulf Annual Ryegrass - Lolium multiflorum | 3.92% | OR | 90% |

1.69% Inert Matter
0.03% Other Crop Seed
0.02% Weed Seed
Noxious Weed Seed: None Found
Tested: December 2015
Lot Number: COL-16-3015

- Notes:**
- The Contractor shall provide and install all plant materials in quantities sufficient to complete planting shown on the drawing. All plants shall comply with the requirements of the current American Standard for Nursery Stock, published by the American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "park grade" material shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless called out in the plant list as multi-stem. Quantity lists are supplied as a convenience. The Contractor shall verify all quantities and, in case of a discrepancy, the plan shall prevail. No plants are to be changed or substituted without approval from a representative of James Dowden & Associates, Inc.
 - All plants shall be watered during the first 24-hour period after installation. A watering schedule must be agreed upon with the Owner, before plantings are installed, of whom, when and how plant materials are to be properly watered. The Contractor is responsible for site visits to ensure the proper watering is being done for establishment and health of all plant materials.
 - Plants shall be balled and burlapped unless otherwise noted on the landscape plan. No root bound material shall be accepted and all wrapping materials made of synthetics or plastics shall be removed at the time of planting. It is the Contractor's option to roll back burlap from the top of the root ball.
 - Recommended mulch depth is 4" of shredded hardwood bark. The Contractor shall avoid over mulching and the creation of "mulch volcanoes". Mulch beds shall extend a minimum of two feet beyond the center of a tree or shrub. Mulch must be pulled at least two inches from the base of a tree so the base of the trunk and root crown are exposed.
 - Prepare perennial beds with one cubic yard of garden compost per 100 sf. The compost shall be rototilled to an 8" depth.
 - All plants shall be set plumb. It is the Contractor's option to stake deciduous trees but it is also the Contractor's responsibility to ensure plants remain plumb until the end of the guarantee period. All deciduous trees shall be wrapped with an approved tree wrap to prevent winter damage. The Contractor shall remove all tree wrap following the first winter.
 - Trees shall be installed a minimum of five (5) feet horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten (10) feet horizontally from utility structures and appurtenances, including, but not limited to, manholes, valve vaults, valve boxes and fire hydrants.
 - The Contractor shall locate the existence of all underground utilities prior to starting work. The Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Contractor shall acquaint himself with, and verify, working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the Contractor of his obligations due to miscalculations.
 - All turf restoration shall include top soil, finish grading, premium bluegrass mix seed and straw blanket, or equivalent, in all disturbed areas.

PREMIUM BLUEGRASS MIX 4-5 LBS PER 1,000 SQ FT
20% MIDNIGHT KENTUCKY BLUEGRASS
20% DENIM KENTUCKY BLUEGRASS
20% LANGARA KENTUCKY BLUEGRASS
20% BLUESTAR KENTUCKY BLUEGRASS
10% PRIZM PERENNIAL RYEGRASS
10% SUNSHINE PERENNIAL RYEGRASS

Dowden Landscape Design
P.O. Box 415, Libertyville, IL 60048
Phone: (847) 362-1254
Email: dowdenassoc@sbcglobal.net

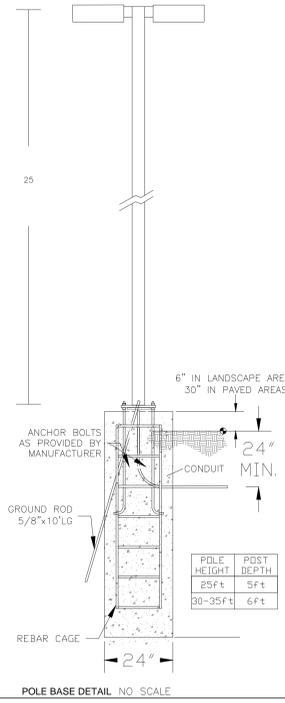


LANDSCAPE PLAN

PROPOSED OFFICE/WAREHOUSE
750 NORTHGATE PARKWAY
WHEELING, ILLINOIS

Date 08.25.16
Scale 1/8"=1'
Drawn CJD
Job
Sheet
L - 3.0

Exhibit received September 21, 2016



LIGHTING FIXTURE SCHEDULE

| TYPE | MANUFACTURER & CATALOG NUMBER | LAMP TYPE AND QUANTITY | NOTES |
|------|--|------------------------|-------|
| B | LITHONIA DSX2 LED ROC 1000 40K T3M RPO9/RTA 25 7E | LED 2, 4 | |
| C | LITHONIA DSX2 LED 1000 1000 40K T3M RPO9/RTA 25 7E | LED 2, 4 | |
| D | LITHONIA DSX2 1000 1000 40K T3M WBO9 | LED 1, 2, 3 | |
| E | LITHONIA DSX2 ROC 1000 40K T3M HS RPO9/RTA 25 7E | LED 2, 4 | |
| F | LITHONIA DSX2 LED ROC 700 40K T3M | LED 1, 2, 3 | |

LIGHTING FIXTURE SCHEDULE NOTES.

1. MOUNT 24" ± BELOW TOP OF PRECAST PANEL. VERIFY EXACT PLACEMENT WITH ARCHITECT.
2. BUILDING MOUNTED FIXTURES TO BE CONTROLLED BY PEC. POLE ASSEMBLIES TO BE TURNED ON BY PEC. OFF BY TIME CLOCK.
3. PROVIDE WHITE FINISH ON ALL BUILDING MOUNTED EXTERIOR FIXTURES.
4. PROVIDE 24" CONCRETE BASE. SEE DETAIL.

STATISTICS

| Description | Symbol | Avg | Max | Min | Max/Min | Avg/Min |
|--------------|--------|--------|--------|--------|---------|---------|
| Auto Parking | X | 2.4 fc | 5.5 fc | 0.7 fc | 7.9:1 | 3.4:1 |
| Perimeter | + | 0.1 fc | 0.6 fc | 0.0 fc | N / A | N / A |
| Future Auto | X | 2.3 fc | 8.9 fc | 0.7 fc | 12.7:1 | 3.3:1 |

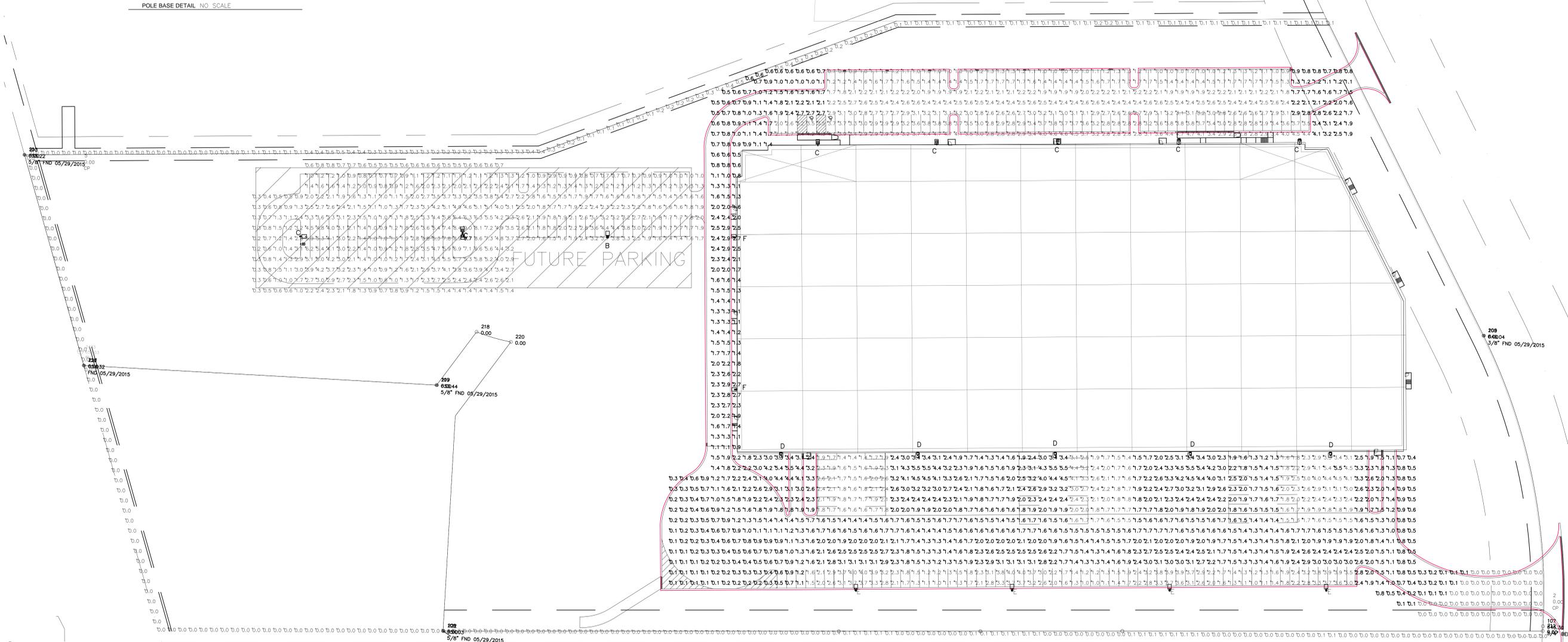
GENERAL NOTES

1. STATISTICS ARE BASED ON PAVED AREAS ONLY.
2. ILLUMINATION VALUES ARE FOR SPECIFIED AREA LIGHTS ONLY. SECURITY LIGHTING IS NOT INCLUDED IN DATA. SUBSTITUTION OF FIXTURES SHALL VOID THIS DATA.
3. DATA IS BASED ON BUILDING REFLECTANCE OF 15 PERCENT
4. VEILING LUMINANCE IS NOT CONSIDERED.
5. LIGHT LOSS FACTOR USED FOR THESE CALCULATIONS IS .80.

SITE ILLUMINATION PLAN

SCALE 1" = 40'

NORTH



PROPOSED EXTERIOR LIGHTING FOR:

750 NORTHGATE

WHEELING, ILLINOIS

REVISIONS:
9/12/16

Exhibit received September 21, 2016

DATE
8/19/2016

JOB
-

SHEET NO.

SL1



D-Series Size 2 LED Area Luminaire

d#series



Catalog
Number

Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

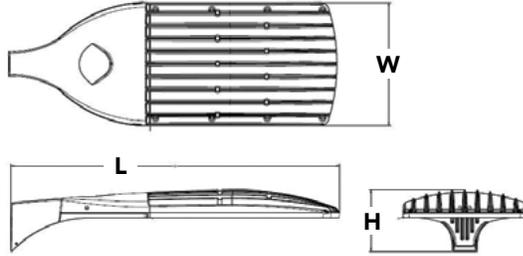
EPA: 1.1 ft²
(0.10 m²)

Length: 40"
(101.6 cm)

Width: 15"
(38.1 cm)

Height: 7-1/4"
(18.4 cm)

Weight (max): 36 lbs
(16.3 kg)



Introduction

The modern styling of the D-Series is striking yet unobtrusive - making a bold, progressive statement even as it blends seamlessly with its environment.

The D-Series distills the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire. The outstanding photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX2 LED 80C 1000 40K T4M MVOLT SPA DDBXD

| DSX2 LED | | Drive current | | Color temperature | | Distribution | | Voltage | | Mounting | | | |
|-----------------------------------|-----------------------|-------------------------|----------------------------|------------------------------|--------|---------------------------------------|----------------------|-----------------|------------------------------------|-----------------------------------|-------------------|--------------------|--|
| DSX2 LED | Forward optics | 80C | 80 LEDs (four engine) | 530 | 530 mA | 30K | 3000 K | T1S | Type I Short | T5VS | Type V Very Short | MVOLT ⁵ | Shipped included SPA Square pole mounting RPA Round pole mounting WBA Wall bracket SPUMBA Square pole universal mounting adaptor ⁷ RPUMBA Round pole universal mounting adaptor ⁷ Shipped separately KMA8 DDBXD U Mast arm mounting bracket adaptor (specify finish) ⁸ |
| | | 700 | 700 mA | 40K | 4000 K | T2S | Type II Short | T5S | Type V Short | 120 ⁵ | | | |
| | | 1000 | 1000 mA (1 A) ² | 50K | 5000 K | T2M | Type II Medium | T5M | Type V Medium | 208 ⁵ | | | |
| | 100C | 100 LEDs (four engines) | 1200 | 1200 mA ² (1.2 A) | AMBPC | Amber phosphor converted ³ | T3S | Type III Short | T5W | Type V Wide | 240 ⁵ | | |
| | | | | | | | T3M | Type III Medium | BLC | Backlight control ^{2,4} | 277 ⁵ | | |
| | | | | | | | T4M | Type IV Medium | LCCO | Left corner cutoff ^{4,4} | 347 ⁶ | | |
| Rotated optics¹ | 90C | 90 LEDs | | | | TFTM | Forward Throw Medium | RCCO | Right corner cutoff ^{2,4} | 480 ⁶ | | | |

| Control options | | Other options | | Finish (required) | | |
|--------------------------|--|--------------------------|---|-------------------|---|----------------------------------|
| Shipped installed | | Shipped installed | | DDBXD Dark bronze | | |
| PER | NEMA twist-lock receptacle only (no controls) ⁹ | PIRH1FC3V | Bi-level, motion sensor, 15'-30' mounting height, ambient sensor enabled at 1fc ¹⁵ | HS | House-side shield ¹⁹ | DBLXD Black |
| PER5 | Five-wire receptacle only (no controls) ^{9,10} | BL30 | Bi-level switched dimming, 30% ^{14,16} | SF | Single fuse (120, 277, 347V) ⁵ | DNAXD Natural aluminum |
| PER7 | Seven-wire receptacle only (no controls) ^{9,10} | BL50 | Bi-level switched dimming, 50% ^{14,16} | DF | Double fuse (208, 240, 480V) ⁵ | DWHXD White |
| DMG | 0-10V dimming driver (no controls) ¹¹ | PNMTDD3 | Part night, dim till dawn ¹⁷ | L90 | Left rotated optics ²⁰ | DDBTXD Textured dark bronze |
| DCR | Dimmable and controllable via ROAM [®] (no controls) ¹² | PNMT5D3 | Part night, dim 5 hrs ¹⁷ | R90 | Right rotated optics ²⁰ | DBLBXD Textured black |
| DS | Dual switching ^{13,14} | PNMT6D3 | Part night, dim 6 hrs ¹⁷ | BS | Bird spikes ²¹ | DNATXD Textured natural aluminum |
| PIRH | Bi-level, motion/ambient sensor, 15'-30' mounting height, ambient sensor enable at 5fc ¹⁵ | PNMT7D3 | Part night, dim 7 hrs ¹⁷ | | | DWHGXD Textured white |
| | | FAO | Field Adjustable Output ¹⁸ | | | |

Controls & Shields

| Accessories | Ordered and shipped separately |
|--------------------|---|
| DLL127F 1.5 JU | Photocell - SSL twist-lock (120-277V) ²² |
| DLL347F 1.5 CUL JU | Photocell - SSL twist-lock (347V) ²² |
| DLL480F 1.5 CUL JU | Photocell - SSL twist-lock (480V) ²² |
| DSHORT SBK U | Shorting cap ²² |
| DSX2HS 80C U | House-side shield for 80 LED unit ¹⁹ |
| DSX2HS 90C U | House-side shield for 90 LED unit ¹⁹ |
| DSX2HS 100C U | House-side shield for 100 LED unit ¹⁹ |
| PUMBA DDBXD U* | Square and round pole universal mounting bracket (specify finish) ²³ |
| KMA8 DDBXD U | Mast arm mounting bracket adaptor (specify finish) ⁸ |
| DSX2BS U | Bird spikes |

For more control options, visit [DTL](#) and [ROAM](#) online.

NOTES

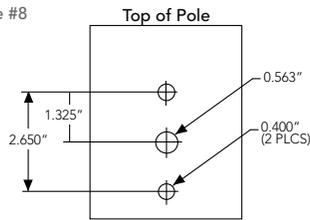
- Rotated optics option (L90 or R90) required for 90C.
- Not available in AMBPC.
- Only available with 530mA or 700mA.
- Not available with HS.
- MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
- Not available with BL30, BL50 or PNMT options.
- Existing drilled pole only. Available as a separate combination accessory; for retrofit use only: PUMBA (finish) U; 1.5 G vibration load rating per ANCI CT36.31.
- Must be ordered as a separate accessory; see Accessories information. For use with 2-3/8" mast arm (not included).
- Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Not available with DS option.
- If ROAM[®] node required, it must be ordered and shipped as a separate line item from Acuity Brands Controls. Not available with DCR. Node with integral dimming.
- DMG option for 347V or 480V requires 1000mA.
- Specifies a ROAM[®] enabled luminaire with 0-10V dimming capability; PER option required. Additional hardware and services required for ROAM[®] deployment; must be purchased separately. Call 1-800-442-6745 or email: sales@roamservices.net. N/A with DS, PIRH, PER5, PER7, BL30, BL50 or PNMT options. Node without integral dimming.

- Provides 50/50 luminaire operation via two independent drivers on two separate circuits. N/A with 80C 530, 90C 530, PER, PER5, PER7, DCR, BL30, BL50 or PNMT options.
- Requires an additional switched circuit.
- PIRH and PIRH1FC3V specify the [SensorSwitch SBGR-6-ODP](#) control; see [Outdoor Control Technical Guide](#) for details. Dimming driver standard. Not available with PER5 or PER7. Ambient sensor disabled when ordered with DCR. Separate on/off required.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7 or PNMT options. Not available with PIRH1FC3V.
- Dimming driver standard. MVOLT only. Not available with 347V, 480V, DCR, DS, PER5, PER7, BL30 or BL50. Not available with PIRH1FC3V. Separate on/off required.
- Dimming driver standard. Not available with PER5, PER7, DMG, DCR, DS, BL30, BL50 or PNMT options. PIRH or PIRH1FC3V.
- Not available with BLC, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information. Separate on/off required.
- 90 LEDs (90C option) only.
- Also available as a separate accessory; see accessories information.
- Requires luminaire to be specified with PER option. Ordered and shipped as a separate line item from Acuity Brands Controls.
- For retrofit use only.



Drilling

Template #8



DSX2 shares a unique drilling pattern with the AERIS™ family. Specify this drilling pattern when specifying poles, per the table below.

| | | | |
|---------------|-------------|---------------|-------------|
| DM19AS | Single unit | DM29AS | 2 at 90°* |
| DM28AS | 2 at 180° | DM39AS | 3 at 90°* |
| DM49AS | 4 at 90°* | DM32AS | 3 at 120°** |

Example: SSA 20 4C DM19AS DDBXD

Visit [Lithonia Lighting's POLES CENTRAL](#) to see our wide selection of poles, accessories and educational tools.

*Round pole top must be 3.25" O.D. minimum.

**For round pole mounting (RPA) only.

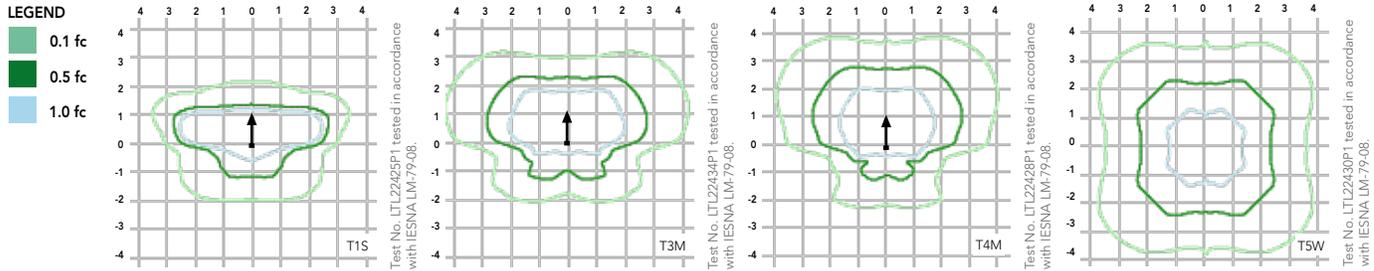
Tenon Mounting Slipfitter**

| Tenon O.D. | Single Unit | 2 at 180° | 2 at 90° | 3 at 120° | 3 at 90° | 4 at 90° |
|------------|-------------|-----------|-----------|-----------|-----------|-----------|
| 2-3/8" | AST20-190 | AST20-280 | AST20-290 | AST20-320 | AST20-390 | AST20-490 |
| 2-7/8" | AST25-190 | AST25-280 | AST25-290 | AST25-320 | AST25-390 | AST25-490 |
| 4" | AST35-190 | AST35-280 | AST35-290 | AST35-320 | AST35-390 | AST35-490 |

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit [Lithonia Lighting's D-Series Area Size 2 homepage](#).

Isofootcandle plots for the DSX2 LED 80C 1000 40K. Distances are in units of mounting height (30').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

| Ambient | | Lumen Multiplier |
|-------------|-------------|------------------|
| 0°C | 32°F | 1.04 |
| 10°C | 50°F | 1.02 |
| 20°C | 68°F | 1.01 |
| 25°C | 77°F | 1.00 |
| 30°C | 86°F | 0.99 |
| 40°C | 104°F | 0.97 |

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

| Operating Hours | 0 | 25,000 | 50,000 | 100,000 |
|--------------------------|--------------------|--------|--------|---------|
| Lumen Maintenance Factor | DSX2 LED 80C 1200 | | | |
| | 1.0 | 0.98 | 0.95 | 0.90 |
| | DSX2 LED 100C 1000 | | | |
| | 1.0 | 0.98 | 0.95 | 0.90 |
| | DSX2 LED 100C 1200 | | | |
| | 1.0 | 0.97 | 0.94 | 0.88 |

Electrical Load

| LEDs | Drive Current (mA) | System Watts | Current (A) | | | | | |
|------|--------------------|--------------|-------------|------|------|------|------|------|
| | | | 120 | 208 | 240 | 277 | 347 | 480 |
| 80 | 530 | 137W | 1.15 | 0.66 | 0.53 | 0.51 | 0.39 | 0.28 |
| | 700 | 188W | 1.58 | 0.92 | 0.81 | 0.73 | 0.55 | 0.41 |
| | 1000 | 282W | 2.37 | 1.35 | 1.18 | 1.04 | 0.83 | 0.61 |
| 100 | 530 | 175W | 1.47 | 0.86 | 0.76 | 0.68 | 0.51 | 0.38 |
| | 700 | 232W | 1.95 | 1.13 | 0.99 | 0.88 | 0.67 | 0.49 |
| | 1000 | 360W | 3.03 | 1.72 | 1.49 | 1.3 | 1.05 | 0.77 |

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Forward Optics | | | | | | | | | | | | | | | | | | | | | | | |
|----------------|--------------------|--------------|------------|----------------------|---|-----|--------|-----|----------------------|---|-----|--------|-----|----------------------|---|-----|--------|-----|----------------------------------|---|----|---|-----|
| LEDs | Drive Current (mA) | System Watts | Dist. Type | 30K (3000 K, 70 CRI) | | | | | 40K (4000 K, 70 CRI) | | | | | 50K (5000 K, 70 CRI) | | | | | AMBPC (Amber Phosphor Converted) | | | | |
| | | | | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW |
| 80C (80 LEDs) | 530 mA | 137 W | T1S | 15,779 | 3 | 0 | 3 | 115 | 16,599 | 3 | 0 | 3 | 121 | 16,701 | 3 | 0 | 3 | 122 | 10,752 | 2 | 0 | 2 | 78 |
| | | | T2S | 16,270 | 3 | 0 | 3 | 119 | 17,115 | 3 | 0 | 3 | 125 | 17,220 | 3 | 0 | 3 | 126 | 10,554 | 2 | 0 | 2 | 77 |
| | | | T2M | 15,897 | 3 | 0 | 3 | 116 | 16,723 | 3 | 0 | 3 | 122 | 16,826 | 3 | 0 | 3 | 123 | 10,571 | 2 | 0 | 2 | 77 |
| | | | T3S | 15,877 | 3 | 0 | 3 | 116 | 16,702 | 3 | 0 | 3 | 122 | 16,805 | 3 | 0 | 3 | 123 | 10,548 | 2 | 0 | 2 | 77 |
| | | | T3M | 16,021 | 3 | 0 | 3 | 117 | 16,854 | 3 | 0 | 3 | 123 | 16,958 | 3 | 0 | 3 | 124 | 10,569 | 2 | 0 | 2 | 77 |
| | | | T4M | 16,239 | 3 | 0 | 3 | 119 | 17,083 | 3 | 0 | 3 | 125 | 17,188 | 3 | 0 | 3 | 125 | 10,547 | 2 | 0 | 2 | 77 |
| | | | TFTM | 15,996 | 3 | 0 | 3 | 117 | 16,827 | 3 | 0 | 3 | 123 | 16,931 | 3 | 0 | 3 | 124 | 10,741 | 1 | 0 | 2 | 78 |
| | | | TSVS | 16,899 | 4 | 0 | 1 | 123 | 17,776 | 4 | 0 | 1 | 130 | 17,886 | 4 | 0 | 1 | 131 | 11,155 | 3 | 0 | 0 | 81 |
| | | | TSS | 17,024 | 4 | 0 | 1 | 124 | 17,908 | 4 | 0 | 1 | 131 | 18,019 | 4 | 0 | 1 | 132 | 11,149 | 3 | 0 | 0 | 81 |
| | | | TSM | 17,053 | 4 | 0 | 2 | 124 | 17,939 | 4 | 0 | 2 | 131 | 18,050 | 4 | 0 | 2 | 132 | 11,096 | 3 | 0 | 2 | 81 |
| | | | T5W | 16,802 | 5 | 0 | 3 | 123 | 17,675 | 5 | 0 | 3 | 129 | 17,784 | 5 | 0 | 3 | 130 | 10,957 | 3 | 0 | 2 | 80 |
| | | | BLC | 12,283 | 1 | 0 | 2 | 90 | 13,190 | 1 | 0 | 2 | 96 | 13,272 | 2 | 0 | 2 | 97 | | | | | |
| | | | LCCO | 11,933 | 2 | 0 | 3 | 87 | 12,814 | 2 | 0 | 3 | 94 | 12,894 | 2 | 0 | 3 | 94 | | | | | |
| | | | RCCO | 11,933 | 2 | 0 | 3 | 87 | 12,814 | 2 | 0 | 3 | 94 | 12,894 | 2 | 0 | 3 | 94 | | | | | |
| | | | T1S | 20,018 | 3 | 0 | 3 | 106 | 21,058 | 3 | 0 | 3 | 112 | 21,188 | 3 | 0 | 3 | 113 | 13,362 | 2 | 0 | 2 | 71 |
| | | | T2S | 20,640 | 3 | 0 | 3 | 110 | 21,712 | 3 | 0 | 3 | 115 | 21,846 | 3 | 0 | 3 | 116 | 13,116 | 2 | 0 | 2 | 70 |
| | | | T2M | 20,167 | 3 | 0 | 3 | 107 | 21,215 | 3 | 0 | 3 | 113 | 21,346 | 3 | 0 | 3 | 114 | 13,138 | 2 | 0 | 2 | 70 |
| | | | T3S | 20,142 | 3 | 0 | 3 | 107 | 21,188 | 3 | 0 | 3 | 113 | 21,319 | 3 | 0 | 3 | 113 | 13,110 | 2 | 0 | 2 | 70 |
| | | | T3M | 20,325 | 3 | 0 | 4 | 108 | 21,381 | 3 | 0 | 4 | 114 | 21,513 | 3 | 0 | 4 | 114 | 13,135 | 2 | 0 | 3 | 70 |
| | | | T4M | 20,601 | 3 | 0 | 4 | 110 | 21,672 | 3 | 0 | 4 | 115 | 21,805 | 3 | 0 | 4 | 116 | 13,108 | 2 | 0 | 2 | 70 |
| | TFTM | 20,293 | 3 | 0 | 4 | 108 | 21,348 | 3 | 0 | 4 | 114 | 21,479 | 3 | 0 | 4 | 114 | 13,349 | 2 | 0 | 2 | 71 | | |
| | TSVS | 21,438 | 4 | 0 | 1 | 114 | 22,551 | 4 | 0 | 1 | 120 | 22,690 | 4 | 0 | 1 | 121 | 13,864 | 3 | 0 | 1 | 74 | | |
| | TSS | 21,596 | 4 | 0 | 1 | 115 | 22,718 | 4 | 0 | 1 | 121 | 22,859 | 4 | 0 | 1 | 122 | 13,856 | 3 | 0 | 1 | 74 | | |
| | TSM | 21,634 | 5 | 0 | 3 | 115 | 22,758 | 5 | 0 | 3 | 121 | 22,898 | 5 | 0 | 3 | 122 | 13,790 | 3 | 0 | 2 | 73 | | |
| | T5W | 21,316 | 5 | 0 | 3 | 113 | 22,423 | 5 | 0 | 3 | 119 | 22,561 | 5 | 0 | 3 | 120 | 13,617 | 4 | 0 | 2 | 72 | | |
| | BLC | 15,637 | 2 | 0 | 2 | 83 | 16,791 | 2 | 0 | 3 | 89 | 16,896 | 2 | 0 | 3 | 90 | | | | | | | |
| | LCCO | 15,192 | 2 | 0 | 3 | 81 | 16,313 | 2 | 0 | 3 | 87 | 16,415 | 2 | 0 | 3 | 87 | | | | | | | |
| | RCCO | 15,192 | 2 | 0 | 3 | 81 | 16,313 | 2 | 0 | 3 | 87 | 16,415 | 2 | 0 | 3 | 87 | | | | | | | |
| | T1S | 27,547 | 3 | 0 | 3 | 98 | 28,978 | 3 | 0 | 3 | 103 | 29,157 | 3 | 0 | 3 | 103 | 18,125 | 2 | 0 | 2 | 64 | | |
| | T2S | 28,403 | 3 | 0 | 3 | 101 | 29,879 | 4 | 0 | 4 | 106 | 30,063 | 4 | 0 | 4 | 107 | 17,791 | 3 | 0 | 3 | 63 | | |
| | T2M | 27,753 | 3 | 0 | 4 | 98 | 29,195 | 3 | 0 | 4 | 104 | 29,375 | 3 | 0 | 4 | 104 | 17,821 | 3 | 0 | 3 | 63 | | |
| | T3S | 27,718 | 3 | 0 | 4 | 98 | 29,158 | 3 | 0 | 4 | 103 | 29,338 | 3 | 0 | 4 | 104 | 17,782 | 2 | 0 | 2 | 63 | | |
| | T3M | 27,970 | 3 | 0 | 5 | 99 | 29,423 | 4 | 0 | 5 | 104 | 29,605 | 4 | 0 | 5 | 105 | 17,817 | 3 | 0 | 3 | 63 | | |
| | T4M | 28,350 | 3 | 0 | 4 | 101 | 29,823 | 3 | 0 | 5 | 106 | 30,007 | 3 | 0 | 5 | 106 | 17,779 | 2 | 0 | 3 | 63 | | |
| | TFTM | 27,927 | 3 | 0 | 4 | 99 | 29,377 | 3 | 0 | 4 | 104 | 29,559 | 3 | 0 | 4 | 105 | 18,107 | 2 | 0 | 3 | 64 | | |
| | TSVS | 29,501 | 5 | 0 | 1 | 105 | 31,034 | 5 | 0 | 1 | 110 | 31,225 | 5 | 0 | 1 | 111 | 18,805 | 3 | 0 | 1 | 67 | | |
| | TSS | 29,720 | 5 | 0 | 2 | 105 | 31,264 | 5 | 0 | 2 | 111 | 31,457 | 5 | 0 | 2 | 112 | 18,794 | 3 | 0 | 1 | 67 | | |
| | TSM | 29,772 | 5 | 0 | 3 | 106 | 31,318 | 5 | 0 | 3 | 111 | 31,512 | 5 | 0 | 3 | 112 | 18,705 | 4 | 0 | 2 | 66 | | |
| | T5W | 29,333 | 5 | 0 | 4 | 104 | 30,857 | 5 | 0 | 4 | 109 | 31,048 | 5 | 0 | 4 | 110 | 18,740 | 4 | 0 | 2 | 66 | | |
| | BLC | 20,649 | 2 | 0 | 3 | 73 | 22,174 | 2 | 0 | 3 | 79 | 22,313 | 2 | 0 | 3 | 79 | | | | | | | |
| | LCCO | 20,061 | 3 | 0 | 3 | 71 | 21,542 | 3 | 0 | 3 | 76 | 21,677 | 3 | 0 | 3 | 77 | | | | | | | |
| | RCCO | 20,061 | 3 | 0 | 3 | 71 | 21,542 | 3 | 0 | 3 | 76 | 21,677 | 3 | 0 | 3 | 77 | | | | | | | |
| | T1S | 30,431 | 3 | 0 | 3 | 95 | 32,011 | 4 | 0 | 4 | 99 | 32,209 | 4 | 0 | 4 | 100 | | | | | | | |
| | T2S | 31,376 | 4 | 0 | 4 | 97 | 33,006 | 4 | 0 | 4 | 103 | 33,210 | 4 | 0 | 4 | 103 | | | | | | | |
| | T2M | 30,658 | 4 | 0 | 4 | 95 | 32,251 | 4 | 0 | 4 | 100 | 32,450 | 4 | 0 | 4 | 101 | | | | | | | |
| | T3S | 30,620 | 3 | 0 | 4 | 95 | 32,210 | 3 | 0 | 4 | 100 | 32,409 | 3 | 0 | 4 | 101 | | | | | | | |
| | T3M | 30,898 | 4 | 0 | 5 | 96 | 32,503 | 4 | 0 | 5 | 101 | 32,703 | 4 | 0 | 5 | 102 | | | | | | | |
| | T4M | 31,318 | 3 | 0 | 5 | 97 | 32,945 | 3 | 0 | 5 | 102 | 33,148 | 3 | 0 | 5 | 103 | | | | | | | |
| | TFTM | 30,850 | 3 | 0 | 4 | 96 | 32,452 | 3 | 0 | 5 | 101 | 32,652 | 3 | 0 | 5 | 101 | | | | | | | |
| | TSVS | 32,589 | 5 | 0 | 1 | 101 | 34,282 | 5 | 0 | 1 | 106 | 34,494 | 5 | 0 | 1 | 107 | | | | | | | |
| | TSS | 32,830 | 5 | 0 | 2 | 102 | 34,536 | 5 | 0 | 2 | 107 | 34,749 | 5 | 0 | 2 | 108 | | | | | | | |
| | TSM | 32,888 | 5 | 0 | 4 | 102 | 34,596 | 5 | 0 | 4 | 107 | 34,810 | 5 | 0 | 4 | 108 | | | | | | | |
| | T5W | 32,404 | 5 | 0 | 4 | 101 | 34,087 | 5 | 0 | 4 | 106 | 34,297 | 5 | 0 | 4 | 107 | | | | | | | |

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| L90 and R90 Rotated Optics | | | | | | | | | | | | | | | | | | | | | | | | | |
|----------------------------|--------------------|--------------|------------|----------------------|-----|--------|--------|-----|----------------------|-----|--------|--------|-----|----------------------|-----|--------|---|-----|----------------------------------|-----|--------|---|-----|---|----|
| LEDs | Drive Current (mA) | System Watts | Dist. Type | 30K (3000 K, 70 CRI) | | | | | 40K (4000 K, 70 CRI) | | | | | 50K (5000 K, 70 CRI) | | | | | AMBPC (Amber Phosphor Converted) | | | | | | |
| | | | | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | | |
| 90C (90 LEDs) | 530 mA | 150 W | T1S | 17,539 | 3 | 0 | 3 | 117 | 18,451 | 3 | 0 | 3 | 123 | 18,564 | 3 | 0 | 3 | 124 | 11,475 | 3 | 0 | 3 | 76 | | |
| | | | T2S | 18,084 | 3 | 0 | 3 | 121 | 19,024 | 3 | 0 | 3 | 127 | 19,141 | 3 | 0 | 3 | 128 | 11,448 | 3 | 0 | 3 | 76 | | |
| | | | T2M | 17,670 | 3 | 0 | 3 | 118 | 18,588 | 3 | 0 | 3 | 124 | 18,703 | 3 | 0 | 3 | 125 | 11,467 | 3 | 0 | 3 | 76 | | |
| | | | T3S | 17,648 | 3 | 0 | 3 | 118 | 18,565 | 3 | 0 | 3 | 124 | 18,680 | 3 | 0 | 3 | 125 | 11,442 | 3 | 0 | 3 | 76 | | |
| | | | T3M | 17,808 | 3 | 0 | 3 | 119 | 18,734 | 3 | 0 | 4 | 125 | 18,849 | 3 | 0 | 4 | 126 | 11,464 | 4 | 0 | 4 | 76 | | |
| | | | T4M | 18,051 | 3 | 0 | 4 | 120 | 18,988 | 3 | 0 | 4 | 127 | 19,106 | 3 | 0 | 4 | 127 | 11,440 | 4 | 0 | 4 | 76 | | |
| | | | TFTM | 17,781 | 3 | 0 | 3 | 119 | 18,704 | 3 | 0 | 3 | 125 | 18,820 | 3 | 0 | 3 | 125 | 11,651 | 4 | 0 | 4 | 78 | | |
| | | | TSVS | 18,783 | 4 | 0 | 1 | 125 | 19,759 | 4 | 0 | 1 | 132 | 19,881 | 4 | 0 | 1 | 133 | 12,289 | 3 | 0 | 1 | 82 | | |
| | | | T5S | 18,923 | 4 | 0 | 1 | 126 | 19,906 | 4 | 0 | 1 | 133 | 20,028 | 4 | 0 | 1 | 134 | 11,978 | 3 | 0 | 1 | 80 | | |
| | | | T5M | 18,956 | 4 | 0 | 2 | 126 | 19,940 | 4 | 0 | 2 | 133 | 20,063 | 4 | 0 | 2 | 134 | 12,301 | 4 | 0 | 2 | 82 | | |
| | | | T5W | 18,677 | 5 | 0 | 3 | 125 | 19,647 | 5 | 0 | 3 | 131 | 19,768 | 5 | 0 | 3 | 132 | 12,109 | 4 | 0 | 2 | 81 | | |
| | | | BLC | 16,949 | 4 | 0 | 4 | 113 | 18,200 | 4 | 0 | 4 | 121 | 18,314 | 4 | 0 | 4 | 122 | | | | | | | |
| | | | LCCO | 16,466 | 3 | 0 | 3 | 110 | 17,682 | 3 | 0 | 3 | 118 | 17,793 | 3 | 0 | 3 | 119 | | | | | | | |
| | | | RCCO | 16,466 | 3 | 0 | 3 | 110 | 17,682 | 3 | 0 | 3 | 118 | 17,793 | 3 | 0 | 3 | 119 | | | | | | | |
| | | | 700 mA | 206 W | T1S | 22,323 | 3 | 0 | 3 | 108 | 23,483 | 3 | 0 | 3 | 114 | 23,628 | 3 | 0 | 3 | 115 | 14,387 | 3 | 0 | 3 | 70 |
| | | | | | T2S | 23,017 | 3 | 0 | 3 | 112 | 24,213 | 3 | 0 | 3 | 118 | 24,362 | 3 | 0 | 3 | 118 | 14,354 | 3 | 0 | 3 | 70 |
| | | | | | T2M | 22,490 | 3 | 0 | 3 | 109 | 23,658 | 3 | 0 | 3 | 115 | 23,804 | 3 | 0 | 3 | 116 | 14,378 | 4 | 0 | 4 | 70 |
| | | | | | T3S | 22,462 | 3 | 0 | 3 | 109 | 23,629 | 3 | 0 | 3 | 115 | 23,774 | 3 | 0 | 3 | 115 | 14,347 | 4 | 0 | 4 | 70 |
| | T3M | 22,666 | | | 3 | 0 | 4 | 110 | 23,843 | 3 | 0 | 4 | 116 | 23,990 | 3 | 0 | 4 | 116 | 14,374 | 4 | 0 | 4 | 70 | | |
| | T4M | 22,974 | | | 3 | 0 | 4 | 112 | 24,167 | 3 | 0 | 4 | 117 | 24,317 | 3 | 0 | 4 | 118 | 14,344 | 4 | 0 | 4 | 70 | | |
| | TFTM | 22,630 | | | 3 | 0 | 4 | 110 | 23,806 | 3 | 0 | 4 | 116 | 23,953 | 3 | 0 | 4 | 116 | 14,609 | 4 | 0 | 4 | 71 | | |
| | TSVS | 23,906 | | | 5 | 0 | 1 | 116 | 25,148 | 5 | 0 | 1 | 122 | 25,304 | 5 | 0 | 1 | 123 | 15,408 | 4 | 0 | 1 | 75 | | |
| | T5S | 24,084 | | | 4 | 0 | 2 | 117 | 25,335 | 5 | 0 | 2 | 123 | 25,491 | 5 | 0 | 2 | 124 | 15,019 | 4 | 0 | 1 | 73 | | |
| | T5M | 24,126 | | | 5 | 0 | 3 | 117 | 25,379 | 5 | 0 | 3 | 123 | 25,536 | 5 | 0 | 3 | 124 | 15,424 | 4 | 0 | 2 | 75 | | |
| | T5W | 23,770 | | | 5 | 0 | 3 | 115 | 25,005 | 5 | 0 | 4 | 121 | 25,160 | 5 | 0 | 4 | 122 | 15,182 | 4 | 0 | 2 | 74 | | |
| | BLC | 21,577 | | | 4 | 0 | 4 | 105 | 23,170 | 4 | 0 | 4 | 112 | 23,315 | 4 | 0 | 4 | 113 | | | | | | | |
| | LCCO | 20,963 | | | 3 | 0 | 3 | 102 | 22,510 | 3 | 0 | 3 | 109 | 22,651 | 3 | 0 | 3 | 110 | | | | | | | |
| | RCCO | 20,963 | | | 3 | 0 | 3 | 102 | 22,510 | 3 | 0 | 3 | 109 | 22,651 | 3 | 0 | 3 | 110 | | | | | | | |
| | 1000 mA | 320 W | | | T1S | 30,621 | 3 | 0 | 3 | 96 | 32,212 | 4 | 0 | 4 | 101 | 32,411 | 4 | 0 | 4 | 101 | 19,288 | 4 | 0 | 4 | 60 |
| | | | | | T2S | 31,573 | 4 | 0 | 4 | 99 | 33,213 | 4 | 0 | 4 | 104 | 33,418 | 4 | 0 | 4 | 104 | 19,243 | 4 | 0 | 4 | 60 |
| | | | | | T2M | 30,850 | 4 | 0 | 4 | 96 | 32,453 | 4 | 0 | 4 | 101 | 32,653 | 4 | 0 | 4 | 102 | 19,275 | 4 | 0 | 4 | 60 |
| | | | | | T3S | 30,812 | 3 | 0 | 4 | 96 | 32,412 | 3 | 0 | 4 | 101 | 32,612 | 3 | 0 | 4 | 102 | 19,233 | 4 | 0 | 4 | 60 |
| | | | T3M | 31,091 | 4 | 0 | 5 | 97 | 32,706 | 4 | 0 | 5 | 102 | 32,908 | 4 | 0 | 5 | 103 | 19,270 | 4 | 0 | 4 | 60 | | |
| | | | T4M | 31,514 | 3 | 0 | 5 | 98 | 33,151 | 3 | 0 | 5 | 104 | 33,356 | 3 | 0 | 5 | 104 | 19,230 | 4 | 0 | 4 | 60 | | |
| | | | TFTM | 31,043 | 3 | 0 | 4 | 97 | 32,656 | 3 | 0 | 5 | 102 | 32,857 | 3 | 0 | 5 | 103 | 19,585 | 4 | 0 | 4 | 61 | | |
| | | | TSVS | 32,793 | 5 | 0 | 1 | 102 | 34,497 | 5 | 0 | 1 | 108 | 34,710 | 5 | 0 | 1 | 108 | 20,656 | 4 | 0 | 1 | 65 | | |
| | | | T5S | 33,036 | 5 | 0 | 2 | 103 | 34,752 | 5 | 0 | 2 | 109 | 34,967 | 5 | 0 | 2 | 109 | 20,135 | 4 | 0 | 1 | 63 | | |
| | | | T5M | 33,094 | 5 | 0 | 4 | 103 | 34,813 | 5 | 0 | 4 | 109 | 35,028 | 5 | 0 | 4 | 109 | 20,677 | 4 | 0 | 2 | 65 | | |
| | | | T5W | 32,607 | 5 | 0 | 4 | 102 | 34,301 | 5 | 0 | 4 | 107 | 34,512 | 5 | 0 | 4 | 108 | 20,354 | 5 | 0 | 3 | 64 | | |
| | | | BLC | 28,493 | 4 | 0 | 4 | 89 | 30,597 | 5 | 0 | 4 | 96 | 30,788 | 5 | 0 | 4 | 96 | | | | | | | |
| | | | LCCO | 27,682 | 3 | 0 | 4 | 87 | 29,726 | 3 | 0 | 4 | 93 | 29,912 | 3 | 0 | 4 | 93 | | | | | | | |
| | | | RCCO | 27,682 | 3 | 0 | 4 | 87 | 29,726 | 3 | 0 | 4 | 93 | 29,912 | 3 | 0 | 4 | 93 | | | | | | | |
| | | | 1200 mA | 363 W | T1S | 33,523 | 4 | 0 | 4 | 92 | 35,265 | 4 | 0 | 4 | 97 | 35,483 | 4 | 0 | 4 | 98 | | | | | |
| | | | | | T2S | 34,565 | 4 | 0 | 4 | 95 | 36,361 | 4 | 0 | 4 | 100 | 36,585 | 4 | 0 | 4 | 101 | | | | | |
| | | | | | T2M | 33,774 | 4 | 0 | 4 | 93 | 35,528 | 4 | 0 | 4 | 98 | 35,748 | 4 | 0 | 4 | 98 | | | | | |
| | | | | | T3S | 33,732 | 3 | 0 | 4 | 93 | 35,484 | 3 | 0 | 4 | 98 | 35,703 | 3 | 0 | 4 | 98 | | | | | |
| | T3M | 34,038 | | | 4 | 0 | 5 | 94 | 35,806 | 4 | 0 | 5 | 99 | 36,027 | 4 | 0 | 5 | 99 | | | | | | | |
| | T4M | 34,501 | | | 4 | 0 | 5 | 95 | 36,293 | 4 | 0 | 5 | 100 | 36,517 | 4 | 0 | 5 | 101 | | | | | | | |
| | TFTM | 33,985 | | | 3 | 0 | 5 | 94 | 35,750 | 3 | 0 | 5 | 98 | 35,971 | 3 | 0 | 5 | 99 | | | | | | | |
| | TSVS | 35,901 | | | 5 | 0 | 1 | 99 | 37,766 | 5 | 0 | 1 | 104 | 37,999 | 5 | 0 | 1 | 105 | | | | | | | |
| | T5S | 36,167 | | | 5 | 0 | 2 | 100 | 38,046 | 5 | 0 | 2 | 105 | 38,281 | 5 | 0 | 2 | 105 | | | | | | | |
| | T5M | 36,230 | | | 5 | 0 | 4 | 100 | 38,112 | 5 | 0 | 4 | 105 | 38,348 | 5 | 0 | 4 | 106 | | | | | | | |
| | T5W | 35,697 | 5 | 0 | 4 | 98 | 37,551 | 5 | 0 | 4 | 103 | 37,783 | 5 | 0 | 4 | 104 | | | | | | | | | |

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

| Forward Optics (continued) | | | | | | | | | | | | | | | | | | | | | | | |
|----------------------------|--------------------|--------------|------------|----------------------|---|-----|--------|-----|----------------------|---|-----|--------|-----|----------------------|---|-----|--------|-----|----------------------------------|---|----|---|-----|
| LEDs | Drive Current (mA) | System Watts | Dist. Type | 30K (3000 K, 70 CRI) | | | | | 40K (4000 K, 70 CRI) | | | | | 50K (5000 K, 70 CRI) | | | | | AMBPC (Amber Phosphor Converted) | | | | |
| | | | | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW | Lumens | B | U | G | LPW |
| 100C (100 LEDs) | 530 mA | 175 W | T1S | 19,856 | 3 | 0 | 3 | 113 | 20,887 | 3 | 0 | 3 | 119 | 21,016 | 3 | 0 | 3 | 120 | 13,100 | 2 | 0 | 2 | 75 |
| | | | T2S | 20,473 | 3 | 0 | 3 | 117 | 21,537 | 3 | 0 | 3 | 123 | 21,670 | 3 | 0 | 3 | 124 | 12,859 | 2 | 0 | 2 | 73 |
| | | | T2M | 20,004 | 3 | 0 | 3 | 114 | 21,043 | 3 | 0 | 3 | 120 | 21,173 | 3 | 0 | 3 | 121 | 12,881 | 2 | 0 | 2 | 74 |
| | | | T3S | 19,979 | 3 | 0 | 3 | 114 | 21,017 | 3 | 0 | 3 | 120 | 21,147 | 3 | 0 | 3 | 121 | 12,853 | 2 | 0 | 2 | 73 |
| | | | T3M | 20,161 | 3 | 0 | 4 | 115 | 21,208 | 3 | 0 | 4 | 121 | 21,339 | 3 | 0 | 4 | 122 | 12,878 | 2 | 0 | 3 | 74 |
| | | | T4M | 20,435 | 3 | 0 | 4 | 117 | 21,496 | 3 | 0 | 4 | 123 | 21,629 | 3 | 0 | 4 | 124 | 12,851 | 2 | 0 | 2 | 73 |
| | | | TFTM | 20,129 | 3 | 0 | 3 | 115 | 21,175 | 3 | 0 | 4 | 121 | 21,306 | 3 | 0 | 4 | 122 | 13,088 | 2 | 0 | 2 | 75 |
| | | | T5VS | 21,264 | 4 | 0 | 1 | 122 | 22,369 | 4 | 0 | 1 | 128 | 22,507 | 4 | 0 | 1 | 129 | 13,592 | 3 | 0 | 1 | 78 |
| | | | T5S | 21,422 | 4 | 0 | 1 | 122 | 22,535 | 4 | 0 | 1 | 129 | 22,674 | 4 | 0 | 1 | 130 | 13,584 | 3 | 0 | 1 | 78 |
| | | | T5M | 21,459 | 5 | 0 | 3 | 123 | 22,574 | 5 | 0 | 3 | 129 | 22,713 | 5 | 0 | 3 | 130 | 13,520 | 3 | 0 | 2 | 77 |
| | | | T5W | 21,143 | 5 | 0 | 3 | 121 | 22,242 | 5 | 0 | 3 | 127 | 22,379 | 5 | 0 | 3 | 128 | 13,350 | 4 | 0 | 2 | 76 |
| | | | BLC | 19,032 | 2 | 0 | 3 | 109 | 20,438 | 2 | 0 | 3 | 117 | 20,565 | 2 | 0 | 3 | 118 | | | | | |
| | | | LCCO | 18,490 | 2 | 0 | 3 | 106 | 19,856 | 3 | 0 | 3 | 113 | 19,980 | 3 | 0 | 3 | 114 | | | | | |
| | | | RCCO | 18,490 | 2 | 0 | 3 | 106 | 19,856 | 3 | 0 | 3 | 113 | 19,980 | 3 | 0 | 3 | 114 | | | | | |
| | | | T1S | 25,219 | 3 | 0 | 3 | 109 | 26,529 | 3 | 0 | 3 | 114 | 26,692 | 3 | 0 | 3 | 115 | 16,441 | 2 | 0 | 2 | 71 |
| | | | T2S | 26,002 | 3 | 0 | 3 | 112 | 27,353 | 3 | 0 | 3 | 118 | 27,522 | 3 | 0 | 3 | 119 | 16,138 | 2 | 0 | 2 | 70 |
| | | | T2M | 25,407 | 3 | 0 | 4 | 110 | 26,727 | 3 | 0 | 4 | 115 | 26,892 | 3 | 0 | 4 | 116 | 16,165 | 2 | 0 | 3 | 70 |
| | | | T3S | 25,375 | 3 | 0 | 3 | 109 | 26,693 | 3 | 0 | 4 | 115 | 26,858 | 3 | 0 | 4 | 116 | 16,130 | 2 | 0 | 2 | 70 |
| | | | T3M | 25,606 | 3 | 0 | 4 | 110 | 26,936 | 3 | 0 | 4 | 116 | 27,102 | 3 | 0 | 4 | 117 | 16,161 | 2 | 0 | 3 | 70 |
| | | | T4M | 25,954 | 3 | 0 | 4 | 112 | 27,302 | 3 | 0 | 4 | 118 | 27,471 | 3 | 0 | 4 | 118 | 16,127 | 2 | 0 | 3 | 70 |
| | TFTM | 25,566 | 3 | 0 | 4 | 110 | 26,897 | 3 | 0 | 4 | 116 | 27,060 | 3 | 0 | 4 | 117 | 16,425 | 2 | 0 | 2 | 71 | | |
| | T5VS | 27,007 | 5 | 0 | 1 | 116 | 28,410 | 5 | 0 | 1 | 122 | 28,586 | 5 | 0 | 1 | 123 | 17,058 | 3 | 0 | 1 | 74 | | |
| | T5S | 27,207 | 5 | 0 | 2 | 117 | 28,621 | 5 | 0 | 2 | 123 | 28,797 | 5 | 0 | 2 | 124 | 17,048 | 3 | 0 | 1 | 73 | | |
| | T5M | 27,255 | 5 | 0 | 3 | 117 | 28,671 | 5 | 0 | 3 | 124 | 28,848 | 5 | 0 | 3 | 124 | 16,967 | 4 | 0 | 2 | 73 | | |
| | T5W | 26,854 | 5 | 0 | 4 | 116 | 28,249 | 5 | 0 | 4 | 122 | 28,423 | 5 | 0 | 4 | 123 | 16,754 | 4 | 0 | 2 | 72 | | |
| | BLC | 24,229 | 2 | 0 | 3 | 104 | 26,018 | 2 | 0 | 4 | 112 | 26,181 | 2 | 0 | 4 | 113 | | | | | | | |
| | LCCO | 23,539 | 3 | 0 | 4 | 101 | 25,277 | 3 | 0 | 4 | 109 | 25,435 | 3 | 0 | 4 | 110 | | | | | | | |
| | RCCO | 23,539 | 3 | 0 | 4 | 101 | 25,277 | 3 | 0 | 4 | 109 | 25,435 | 3 | 0 | 4 | 110 | | | | | | | |
| | T1S | 34,490 | 4 | 0 | 4 | 96 | 36,281 | 4 | 0 | 4 | 101 | 36,505 | 4 | 0 | 4 | 101 | 22,196 | 3 | 0 | 3 | 62 | | |
| | T2S | 35,561 | 4 | 0 | 4 | 99 | 37,409 | 4 | 0 | 4 | 104 | 37,640 | 4 | 0 | 4 | 105 | 21,787 | 3 | 0 | 3 | 61 | | |
| | T2M | 34,747 | 4 | 0 | 4 | 97 | 36,552 | 4 | 0 | 4 | 102 | 36,778 | 4 | 0 | 4 | 102 | 21,824 | 3 | 0 | 3 | 61 | | |
| | T3S | 34,704 | 3 | 0 | 4 | 96 | 36,507 | 4 | 0 | 4 | 101 | 36,732 | 4 | 0 | 4 | 102 | 21,776 | 3 | 0 | 3 | 60 | | |
| | T3M | 35,019 | 4 | 0 | 5 | 97 | 36,838 | 4 | 0 | 5 | 102 | 37,065 | 4 | 0 | 5 | 103 | 21,819 | 3 | 0 | 3 | 61 | | |
| | T4M | 35,495 | 4 | 0 | 5 | 99 | 37,339 | 4 | 0 | 5 | 104 | 37,569 | 4 | 0 | 5 | 104 | 21,773 | 3 | 0 | 3 | 60 | | |
| | TFTM | 34,964 | 3 | 0 | 5 | 97 | 36,781 | 3 | 0 | 5 | 102 | 37,008 | 3 | 0 | 5 | 103 | 22,175 | 3 | 0 | 3 | 62 | | |
| | T5VS | 36,936 | 5 | 0 | 1 | 103 | 38,855 | 5 | 0 | 1 | 108 | 39,095 | 5 | 0 | 1 | 109 | 23,029 | 4 | 0 | 1 | 64 | | |
| | T5S | 37,209 | 5 | 0 | 2 | 103 | 39,142 | 5 | 0 | 2 | 109 | 39,384 | 5 | 0 | 2 | 109 | 23,016 | 4 | 0 | 1 | 64 | | |
| | T5M | 37,274 | 5 | 0 | 4 | 104 | 39,211 | 5 | 0 | 4 | 109 | 39,453 | 5 | 0 | 4 | 110 | 22,906 | 4 | 0 | 2 | 64 | | |
| | T5W | 36,726 | 5 | 0 | 4 | 102 | 38,634 | 5 | 0 | 4 | 107 | 38,872 | 5 | 0 | 4 | 108 | 22,619 | 4 | 0 | 2 | 63 | | |
| | BLC | 31,996 | 3 | 0 | 4 | 89 | 34,358 | 3 | 0 | 4 | 95 | 34,573 | 3 | 0 | 4 | 96 | | | | | | | |
| | LCCO | 31,085 | 3 | 0 | 4 | 86 | 33,380 | 3 | 0 | 4 | 93 | 33,588 | 3 | 0 | 4 | 93 | | | | | | | |
| | RCCO | 31,085 | 3 | 0 | 4 | 86 | 33,380 | 3 | 0 | 4 | 93 | 33,588 | 3 | 0 | 4 | 93 | | | | | | | |
| | T1S | 37,667 | 4 | 0 | 4 | 94 | 39,623 | 4 | 0 | 4 | 99 | 39,868 | 4 | 0 | 4 | 100 | | | | | | | |
| | T2S | 38,837 | 4 | 0 | 4 | 97 | 40,855 | 4 | 0 | 4 | 102 | 41,107 | 4 | 0 | 4 | 103 | | | | | | | |
| | T2M | 37,948 | 4 | 0 | 5 | 95 | 39,919 | 4 | 0 | 5 | 100 | 40,166 | 4 | 0 | 5 | 100 | | | | | | | |
| | T3S | 37,901 | 4 | 0 | 4 | 95 | 39,869 | 4 | 0 | 4 | 100 | 40,116 | 4 | 0 | 4 | 100 | | | | | | | |
| | T3M | 38,244 | 4 | 0 | 5 | 96 | 40,231 | 4 | 0 | 5 | 101 | 40,480 | 4 | 0 | 5 | 101 | | | | | | | |
| | T4M | 38,765 | 4 | 0 | 5 | 97 | 40,778 | 4 | 0 | 5 | 102 | 41,030 | 4 | 0 | 5 | 103 | | | | | | | |
| | TFTM | 38,185 | 3 | 0 | 5 | 95 | 40,169 | 4 | 0 | 5 | 100 | 40,417 | 4 | 0 | 5 | 101 | | | | | | | |
| | T5VS | 40,338 | 5 | 0 | 1 | 101 | 42,434 | 5 | 0 | 1 | 106 | 42,696 | 5 | 0 | 1 | 107 | | | | | | | |
| | T5S | 40,637 | 5 | 0 | 2 | 102 | 42,748 | 5 | 0 | 2 | 107 | 43,012 | 5 | 0 | 2 | 108 | | | | | | | |
| | T5M | 40,708 | 5 | 0 | 4 | 102 | 42,823 | 5 | 0 | 4 | 107 | 43,087 | 5 | 0 | 4 | 108 | | | | | | | |
| | T5W | 40,109 | 5 | 0 | 5 | 100 | 42,192 | 5 | 0 | 5 | 105 | 42,453 | 5 | 0 | 5 | 106 | | | | | | | |

FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Area Size 2 reflects the embedded high performance LED technology. It is ideal for applications like car dealerships and large parking lots adjacent to malls, transit stations, grocery stores, home centers, and other big-box retailers.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED drivers are mounted in direct contact with the casting to promote low operating temperature and long life. Housing is completely sealed against moisture and environmental contaminants (IP65). Low EPA (1.1 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

OPTICS

Precision-molded proprietary acrylic lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K, or 5000 K (70 CRI) configurations. The D-Series Size 2 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine configurations consist of 80, 90 or 100 high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L90/100,000 hrs at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily-serviceable surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

INSTALLATION

Included mounting block and integral arm facilitate quick and easy installation. Stainless steel bolts fasten the mounting block securely to poles and walls, enabling the D-Series Size 2 to withstand up to a 2.0 G vibration load rating per ANSI C136.31. The D-Series Size 2 utilizes the AERIS™ series pole drilling pattern (Template #8). NEMA photocontrol receptacle is available.

LISTINGS

UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP65 rated. Rated for -40°C minimum ambient. U.S. Patent No. D670,857 S. International patent pending.

DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.designlights.org to confirm which versions are qualified.

WARRANTY

5-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms_and_conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

GENERAL NOTES

1. REFERENCED CODES

A. ALL PAVEMENT AND STORM SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (SSRBC), AND SUPPLEMENTAL SPECIFICATIONS AND RECURRING SPECIAL PROVISIONS: ADOPTED JANUARY 1, 2012 BY ILLINOIS DEPARTMENT OF TRANSPORTATION AND ALL AMENDMENTS THEREIN, AND IN ACCORDANCE WITH THE LATEST EDITION OF THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN. IN CASE OF CONFLICT, MUNICIPAL CODE SHALL TAKE PRECEDENCE.

B. ALL SANITARY SEWER AND WATERMAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, PUBLISHED JULY 2009, AND IN ACCORDANCE WITH THE CODE OF THE MUNICIPALITY; EXCEPT AS MODIFIED HEREIN OR BY ANY PUBLIC AGENCY PERMITS ISSUED FOR THIS WORK. IN CASE OF CONFLICT, THE MORE RESTRICTIVE PROVISIONS SHALL APPLY.

C. ALL SIDEWALK AND PUBLIC AREAS MUST BE CONSTRUCTED IN ACCORDANCE WITH CURRENT ADA, ILLINOIS HANDICAP ACCESSIBILITY AND ANY APPLICABLE LOCAL ORDINANCES. WHEN CONFLICTS EXIST BETWEEN THE GOVERNING AGENCIES, THE MORE STRINGENT SHALL SOVEREIGN.

D. THE CITED STANDARD SPECIFICATIONS, CODES AND PERMITS, WITH THESE CONSTRUCTION PLANS AND DETAILS, ARE ALL TO BE CONSIDERED PART OF THE CONTRACT. INCIDENTAL ITEMS OR ACCESSORIES NECESSARY TO COMPLETE THIS WORK MAY NOT BE SPECIFICALLY NOTED BUT ARE CONSIDERED A PART OF THIS CONTRACT.

2. UTILITY LOCATIONS

A. THE UTILITY COMPANIES HAVE BEEN CONTACTED IN REFERENCE TO UTILITIES THEY OWN AND OPERATE WITHIN THE LIMITS FOR THIS PROJECT. DATA FROM THESE AGENCIES HAS BEEN INCORPORATED INTO THE PLANS. IT IS, HOWEVER, THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM OR ESTABLISH THE EXISTENCE OF ALL UTILITY FACILITIES AND THEIR EXACT LOCATIONS, AND TO SAFELY SCHEDULE ALL UTILITY RELOCATIONS. FOR ADDITIONAL INFORMATION, THE AGENCIES LISTED ON THIS SHEET MAY BE CONTACTED.

B. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF ANY EXISTING UTILITIES SHOWN ON THE PLAN. THE CONTRACTOR SHALL CALL J.U.L.I.E. AT 800-892-0123 AND THE MUNICIPALITY FOR UTILITY LOCATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES AND THE MUNICIPALITY TWENTY-FOUR (24) HOURS PRIOR TO STARTING ANY CONSTRUCTION.

C. EASEMENTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.

3. UTILITY COORDINATION

A. OWNER SHALL OBTAIN EASEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.

B. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE NATURE AND STATUS OF ALL UTILITY RELOCATION WORK PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO ENSURE THAT CONSTRUCTION OPERATIONS DO NOT INTERFERE WITH UTILITY FACILITIES AND RELOCATION WORK. THE SCHEDULE SHOULD REFLECT CONSTRUCTION OF UTILITY RELOCATION WORK. THE CONTRACTOR SHALL BE REQUIRED TO ADJUST THE ORDER OF ITS WORK FROM TIME TO TIME, TO COORDINATE SAME WITH UTILITY RELOCATION WORK, AND SHALL PREPARE REVISED SCHEDULE(S) IN COMPLIANCE THEREWITH AS DIRECTED BY THE OWNER.

C. THE OWNER AND THE ENGINEER SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR AT LEAST 48 HOURS PRIOR TO THE START OF ANY OPERATION REQUIRING COOPERATION WITH OTHERS. THAT SHALL BE CONTACTED ONE MONTH PRIOR TO START OF CONSTRUCTION IN ITS UTILITY AREAS. ALL OTHER AGENCIES, UNLESS OTHERWISE NOTED, SHALL BE NOTIFIED IN WRITING BY THE CONTRACTOR TEN (10) DAYS PRIOR TO THE START OF ANY SUCH OPERATION.

4. NO PLAN SHALL BE USED FOR CONSTRUCTION UNLESS APPROVED BY THE WRMO. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AFFECTING THE WORK WITH THE ACTUAL CONDITIONS AT THE JOB SITE. IN ADDITION, THE CONTRACTOR MUST VERIFY THE ENGINEER'S LINE AND GRADE STAKES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO THE ENGINEER BEFORE DOING ANY WORK. OTHERWISE THE CONTRACTOR ASSUMES FULL RESPONSIBILITY. IN THE EVENT OF DISAGREEMENT BETWEEN THE CONSTRUCTION PLANS, SPECIFICATIONS AND/OR SPECIAL DETAILS, THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTION FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY PART OF THE WORK AFFECTED BY OMISSIONS OR DISCREPANCIES. FAILING TO SECURE SUCH INSTRUCTION, THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DOUBT OR QUESTIONS ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.

5. ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.

6. UPON AWARDING OF THE CONTRACT, AND WHEN REQUIRED BY THE MUNICIPALITY OR OWNER, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY OR OWNER, AS APPROPRIATE.

7. THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK. HOWEVER, IF THE OWNER HAS A SOILS REPORT, THE RESULTS WILL BE AVAILABLE FROM THE OWNER UPON WRITTEN REQUEST.

8. CONTRACTOR SHALL VIDEO TAPE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.

9. COMMENCING CONSTRUCTION

A. THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO THE START OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, EITHER MUNICIPALITY'S OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION. ALL MATERIAL TESTING SHALL BE THE RESPONSIBILITY AND EXPENSE OF THE CONTRACTOR. THE TESTING AGENCY SHALL MEET THE APPROVAL OF THE OWNER.

B. FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING COMPANIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING OPERATIONS. COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.

10. ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO ADJACENT PROPERTIES.

11. THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAKES UNTIL THEY ARE NO LONGER NEEDED. ANY STAKES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.

12. ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DISPOSAL SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS SHOWN ON THE ENGINEERING PLANS OR AS DIRECTED BY THE DEVELOPER. DAMAGE TO THESE SIGNS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE TO THE SATISFACTION OF THE OWNER. ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.

13. REMOVAL OF SPECIFIED ITEMS, INCLUDING BUT NOT LIMITED TO, PAVEMENT, SIDEWALK, CURB, CURB AND GUTTER, CURBS, ETC. SHALL BE DISPOSED OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.

14. ALL FIELD TILE ENCOUNTERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENCOUNTERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER, DEVELOPER OR MUNICIPAL ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED.

15. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB.

16. THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MACHINERY, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.

17. ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION. THIS WORK SHALL BE CONSIDERED INCIDENTAL TO THE CONTRACT UNLESS SPECIFICALLY NOTED ON THE PLANS.

18. TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF (SSRBC) ARTICLE 201.05.

19. LIMB PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT MEETING THE OWNER'S APPROVAL AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.

20. ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE OFF-SITE.

21. ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGE BRANCH. WOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.

22. GENERAL EXCAVATION/UNDERGROUND NOTES

A. SLOPE SIDES OF EXCAVATIONS TO COMPLY WITH CODES AND ORDINANCES HAVING JURISDICTION. SHORE AND BRACE WHERE SLOPING IS UNDESIRABLE BECAUSE OF SPACE RESTRICTIONS OR STABILITY OF MATERIAL EXCAVATED. MAINTAIN SIDES AND SLOPES OF EXCAVATIONS IN A SAFE CONDITION UNTIL COMPLETION OF BACKFILLING.

B. PROVIDE MATERIALS FOR SHORING AND BRACING, SUCH AS SHEET PILING, UPRIGHTS, STRINGERS AND CROSS BRACES, IN GOOD SERVICEABLE CONDITION. PROVIDE MINIMUM REQUIREMENTS FOR TRENCH SHORING AND BRACING TO COMPLY WITH CODES AND AUTHORITIES HAVING JURISDICTION. MAINTAIN SHORING AND BRACING IN EXCAVATIONS REGARDLESS OF TIME PERIOD EXCAVATIONS WILL BE OPEN. CARRY DOWN SHORING AND BRACING AS EXCAVATION PROGRESSES IN ACCORDANCE WITH OSHA AND GOVERNING AUTHORITY.

C. PREVENT SURFACE WATER AND SUBSURFACE OR GROUNDWATER FROM FLOWING INTO EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, SUMPS, SUCTION AND DISCHARGE LINES AND OTHER Dewatering SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS. CONVEY WATER REMOVED FROM EXCAVATIONS AND RAINWATER TO COLLECTING OR RUN-OFF AREAS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION. PROVIDE AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DRAINAGE SYSTEMS WITHIN EXCAVATION LIMITS FOR EACH STRUCTURE. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.

D. IMMEDIATELY REPORT CONDITIONS THAT MAY CAUSE UNSOUND BEARING TO THE OWNER/DEVELOPER BEFORE CONTINUING WORK.

23. FINAL ACCEPTANCE

A. ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD. THIS GUARANTEE SHALL BE PROVIDED IN THE FORM OF MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE COST OF IMPROVEMENTS.

B. BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.

C. NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE MUNICIPALITY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE MUNICIPALITY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE, AND PRIOR TO PLACING ANY CONCRETE AFTER FORMS HAVE BEEN SET.

D. AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.

24. UNDERGROUND NOTES

A. UNDERGROUND WORK SHALL INCLUDE TRENCHING, INSTALLATION OF PIPE, CASTINGS, STRUCTURES, BACKFILLING OF TRENCHES AND COMPACTION AND TESTING AS SHOWN ON THE CONSTRUCTION PLANS. FITTINGS AND ACCESSORIES NECESSARY TO COMPLETE THE WORK MAY NOT BE SPECIFIED, BUT SHALL BE CONSIDERED AS INCIDENTAL TO THE COST OF THE CONTRACT.

B. WHERE SHOWN ON THE PLANS OR DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PATCHED AS NECESSARY TO ASSURE INTEGRITY OF THE STRUCTURE. THIS WORK SHALL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE PER LINEAL FOOT FOR SYSTEMS WHICH SHALL BE PAID FOR IN FULL FOR CLEANING, PATCHING, REMOVAL AND DISPOSAL OF DEBRIS AND DIRT. DRAINAGE STRUCTURES AND SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT SHALL BE MAINTAINED BY THE CONTRACTOR AT HIS EXPENSE. NO PAYMENT WILL BE MADE FOR CLEANING STRUCTURES OR SYSTEMS CONSTRUCTED AS PART OF THIS PROJECT.

C. ANY Dewatering OF SEWER AND WATER TRENCHES AS WELL AS TEMPORARY SHEETING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED AS EXTRA WORK UNLESS THERE IS A SPECIFIC LINE ITEM FOR Dewatering. IN THE EVENT THAT SOFT MATERIALS WITH UNCONFINED COMPRESSIVE STRENGTH LESS THAN 0.5 TSP ARE ENCOUNTERED IN SEWER CONSTRUCTION, THE CONTRACTOR SHALL, UPON APPROVAL OF THE OWNER AND/OR ENGINEER, OVER-EXCAVATE TO A DEPTH OF ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.

D. TRENCH BACKFILL WILL BE REQUIRED FOR THE FULL TRENCH DEPTH WITHIN TWO (2) FEET OF PROPOSED OR EXISTING PAVEMENTS, UTILITIES, DRIVEWAYS AND SIDEWALKS AND EXTENDING A DISTANCE EQUAL TO THE SLOPE OF SUBGRADE ELEVATION TO TOP OF PIPE. THE TRENCH BACKFILL SHALL CONSIST OF GRANULAR MATERIAL MEETING 100% CA-6 GRADATION. THE TRENCH BACKFILL SHALL BE COMPACTED IN ACCORDANCE WITH (SSRBC) SPECIFICATIONS. JETTING WITH WATER SHALL NOT BE PERMITTED. THE COST OF SUCH CONSTRUCTION SHALL BE CONSIDERED INCIDENTAL TO THIS CONTRACT AND SHALL BE INCLUDED IN THE UNIT PRICE OF THE PIPE. NO SEPARATE PAYMENT SHALL BE MADE FOR THIS ITEM.

E. THE CONTRACTOR SHALL INSTALL A 4" x 4" x 8" (NOMINAL) POST AT THE INTERSECTION OF THE SANITARY, WATER AND STORM SERVICE, SANITARY AND STORM MANHOLES, CATCH BASINS, INLETS AND WATER VALVES. THE POST SHALL EXTEND 4" ABOVE THE GROUND. THE TOP 12" OF SAID POST SHALL BE PAINTED AS FOLLOWS: SANITARY - RED, WATERMAIN - BLUE, STORM - GREEN.

F. AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT REAR YARD INLET LOCATIONS, AND AT OTHER LOCATIONS SELECTED BY THE ENGINEER, TO MINIMIZE THE AMOUNT OF SILTATION WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM.

G. HYDRANTS SHALL NOT BE FLUSHED DIRECTLY ON THE ROAD SURFACES. WHENEVER POSSIBLE, HOSES SHALL BE USED TO DIVERSE WATER INTO LOT GRADING OR TO THE STORM SEWER SYSTEM (IF AVAILABLE). DAMAGE TO THE ROAD SUBGRADE OR LOT GRADING DUE TO EXCESSIVE WATER SATURATION AND/OR EROSION FROM HYDRANT FLUSHING, OR FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM, WILL BE REPAIRED BY THE CONTRACTOR AT HIS COST.

H. ALL TOP OF FRAMES FOR STORM AND SANITARY SEWERS AND VALVE VAULT COVERS ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE SEWER AND WATER CONTRACTOR AND THE COST IS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISHED GRADE WILL NOT ALLEVIATE THE CONTRACTOR FROM ANY ADDITIONAL ADJUSTMENTS AS REQUIRED BY THE MUNICIPALITY UPON FINAL INSPECTION OF THE PROJECT. IF ADJUSTMENTS TO BE DETERMINED BY THE MUNICIPALITY AT THE TIME OF FINAL INSPECTION AND VARY FROM PLAN GRADE.)

I. SLEEVES FOR UTILITY (COMED, TELEPHONE, ETC.) STREET CROSSING, SHALL BE INSTALLED WHERE DIRECTED BY THE OWNER. SLEEVES SHALL BE 6" PVC INSTALLED 36" BELOW THE TOP OF CURB AND EXTEND TWO FEET OUTSIDE THE CURB. TRENCH SHALL BE BACKFILLED WITH COMPACTED GRANULAR MATERIAL.

J. THE CONTRACTOR SHALL VERIFY THE SIZE AND INVERT ELEVATION OF ALL CONNECTIONS TO AVOID ANY CONFLICTS BEFORE STARTING WORK. NOTIFY OWNER OF ANY DISCREPANCIES.

25. IT SHALL BE UNDERSTOOD THAT NEITHER THE MUNICIPALITY, ITS OFFICIALS, CONSULTANTS, NOR ITS EMPLOYEES ARE AGENTS OF OR REPRESENTATIVES OF THE OWNER. NONE-THE-LESS, THE MUNICIPALITY, ITS OFFICIALS AND EMPLOYEES ARE TO BE PROVIDED SAFE ACCESS TO ALL PHASES OF ALL WORK PERFORMED ON THE PROJECT SITE TO MONITOR THE PROGRESS OF THE WORK AND ASSURE ITS CONFORMITY WITH THE PLANS AND SPECIFICATIONS. THERE SHALL BE NO PERSONAL LIABILITY UPON ANY OFFICIAL OR EMPLOYEE OF THE MUNICIPALITY ON ACCOUNT OF ACTIONS TAKEN OR NOT TAKEN IN THE COURSE OF THEIR WORK. THE CONTRACTOR MUST AT ALL TIMES MAINTAIN A SAFE WORK AREA. MEANING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONDITIONS COMPLYING WITH ALL PROVISIONS OF ALL APPLICABLE AND RECOGNIZED SAFETY STANDARDS, FEDERAL, STATE AND LOCAL. IF ACCESS IS NOT SAFE AND INSPECTIONS CANNOT BE MADE UNDER SAFE CONDITIONS, THE INSPECTION CAN BE DEFERRED UNTIL SUCH TIME AS THE CONTRACTOR PROVIDES SAFE ACCESS.

GENERAL NOTES

1) It shall be the responsibility of the developer (owner) and the contractor to abide by, adhere to and perform all work in accordance with the requirements, specifications, standards, practices, policies and codes of the Village of Wheeling which includes but is not limited to labor, materials, procedures and safety.

2) Underground construction shall comply with the applicable ordinances and requirements of the Village of Wheeling and the Illinois Department of Transportation "Specifications for Road and Bridge Construction", latest edition, and the Standard Specifications for Water and Sewer Main Construction in Illinois, latest edition. All construction shall conform to the Illinois Recommended Standards for Sewerage Works, latest edition, published by the Illinois Environmental Protection Agency (I.E.P.A.) except for conflicts with the Metropolitan Water Reclamation District of Greater Chicago (M.W.R.D.G.C.) Sewer Permit and Manual of Procedures Ordinances. In case of a conflict the most restrictive standards and requirements shall govern.

3) All paving and excavation work shall comply with the applicable ordinances of the Village of Wheeling and the Illinois Department of Transportation "Specifications for Road and Bridge Construction" latest edition. In case of a conflict, the most restrictive standards and requirements shall govern.

4) The contractor shall field check and verify all existing utility locations, dimensions and elevations in the field prior to the commencement of construction of the improvements or proposed work. All existing utility locations on the plans have been shown based on best available information. Notify the engineer immediately if discrepancies are found.

5) Any changes, revisions or substitutions to the plans, specifications, materials, requirements or work shall be submitted to the Village Engineer, in writing, with written approval by the Village Engineer received prior to beginning said work. All materials and construction whether implicitly or explicitly stated or covered within the requirements, codes or specifications, shall be approved by the Village Engineer, prior to commencing the installation and construction.

6) The contractor must contact J.U.L.I.E. at 1-800-892-0123 at least 48 hours prior to starting work. All other agencies shall also be notified as required.

7) The contractor shall notify the Village of Wheeling Engineering Division at (847) 459-2620 and the Metropolitan Water Reclamation District of Greater Chicago (708) 588-4055 two (2) business days prior to the start of construction.

8) It shall be the responsibility of the contractor to call the Village at 847-459-2620 at least 48 hours in advance and set up the necessary and proper inspection(s) for all work to be performed.

9) One set of **stamped approved plans** shall be on site at all times during construction of the project.

10) It is the responsibility of the contractor to maintain and keep at the job site, an up to date set of "Record Drawings" showing all changes from the original plans. The contractor shall deliver the "Record Drawings" to the engineer at the conclusion of the project, prior to any final inspections. The engineer will transfer the information to the original plans by incorporating the Village of Wheeling As-Built requirement (1) and furnish the Village three (3) sets of complete "Record Drawings," and, if required, one (1) set of electronic version of the Record Drawings and Site Information at the completion of the project.

11) The location of all service connections for sanitary sewer, storm sewer and water shall be shown from the closest manhole or valve vault. All B-boxes and cleanouts must be shown with tied dimensions. The elevation of all rims and inverts shall be verified by the contractor and shown on the "Record Drawings".

12) OSHA rules, regulations and requirements shall be strictly adhered to during the execution of all work to be performed under the approved drawings.

13) The contractor shall provide video tape(s) or still pictures as required by the Village Engineer prior to the commencement of work.

14) The contractor shall restore all disturbed off-site areas to at least a condition that existed prior to construction.

15) All unpaved areas of the right-of-way are to be sodded. Restore right-of-way with six (6) inches of topsoil and sod.

16) All existing field drainage tiles encountered or damaged during construction are to be restored to their original condition, properly rerouted and/or connected to the storm sewer system.

17) Storm and sanitary sewer lines shall be cleaned of all construction debris and silt prior to Village inspection.

18) All independent testing to be paid for by the developer. Testing to be conducted at the discretion of the Village.

19) All obstructions that are not approved by the Village and which currently exist in the right-of-way shall be removed, which include all rocks and boulders.

20) All septic and/or well abandonment's shall be in accordance with the requirement of the Village of Wheeling.

21) The contractor shall refer to mitigation or landscape plans for complete information regarding planting locations, wetlands, walkways, walls, and stream and pond shorelines, if applicable.

22) An iron pipe shall be found and located or set at each lot corner.

23) All elevations are based upon NAVD 88 Datum.

GENERAL UNDERGROUND UTILITIES

1) All sewer construction shall conform to the approved permit plans unless revisions have been approved by the Village, as well as any and all other Agencies.

2) Trench backfill shall be provided under and within two feet (2') of all existing and proposed pavement. Concrete Curb & Gutter shall be considered a part of the existing and proposed pavement. Trench backfill material shall be CA-6, Grade 8, Crushed Limestone, virgin material unless otherwise approved.

3) All manholes and catch basin structures must be a minimum of 48" in diameter, valve vaults must be a minimum of 60" diameter, unless approved otherwise.

4) All sewer construction requires stone bedding 1/4" to 1" in size, (I.D.O.T. equivalent CA-11, CA-13) with a minimum thickness equal to 1/4 the outside diameter of the sewer pipe, but not less than four (4) inches, nor greater than eight (8) inches.

5) If required, all trenches shall be dewatered PRIOR to laying any pipe or jointing. Trenches shall be dewatered to maintain the water level below the base of the bedding.

6) Structures shall have a maximum of twelve inches (12") of adjustment rings with any combination up to a maximum of three (3) rings.

7) Concentric cone sections shall be used on all manholes, catch basins, vaults, etc. unless approved otherwise by the Village Engineer.

8) All storm, sanitary and watermain services to end at R.O.W. with proper termination for subdivision construction.

9) The contractor shall mark location of the ends, if necessary, of any sanitary, water, and storm services with buried 4" x 4" wood posts extending a minimum of three (3) feet out of the ground and painted red, blue, and green respectively, with appropriate signs attached stating "caution B-box do not remove until landscaping is complete."

10) A minimum ten feet (10') horizontal separation shall be maintained between watermain and sewer or drain lines unless precluded by local conditions. When the watermain is located closer than ten feet (10') horizontally or the invert of the watermain is located closer than eighteen inches (18") vertically above the crown of any sewer or drain line, then:

The sewer or drain line shall be constructed of pipe equivalent to watermain standards and shall be pressure tested to assure water tightness in accordance with the Illinois Environmental Protection Agency (I.E.P.A.) requirements.

11) When a watermain is crossing over a sewer or drain line closer than eighteen inches (18") vertically above the crown of that sewer or drain line, then that sewer or drain line shall be constructed according to the requirements listed in item 10 above.

12) If the watermain passes under a sewer or drain line, the following conditions shall be met: a vertical separation of eighteen inches (18") between the invert of the sewer or drain line and the crown of the watermain shall be maintained with support provided for the sewer or drain line(s) to prevent any moving or settling, rupture or breaking, and sewer or drain line shall be constructed as described in item 4) above.

13) The cost of all required testing of underground utilities shall be incidental to the construction cost of the same.

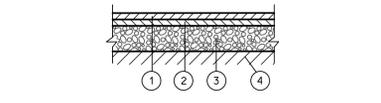
14) When connecting to an existing sewer main by means other than an existing wye, tee, or an existing manhole. The sewer shall be circular saw-cut by proper tools ("sewer-tap" machine or similar) and proper installation of hub-wye saddle or hub-tee saddle.

15) Sewer connections to an existing structure shall be machine cored.

16) A flexible rubber boot shall be used at all sanitary sewer manhole penetration connections.

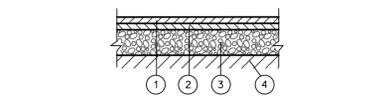
17) Protect and/or cover all pipes and underground structures until final grading, paving and landscaping are complete.

18) For modification or repair of all sewers; addition of, or repair of, sewer clean outs, **non shear couplings** shall be used in connection of sewer pipes with prior approval from Village Engineering Division of Community Development Department.



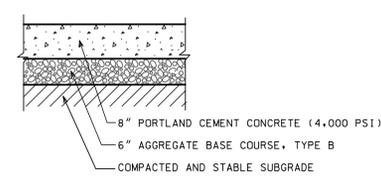
HEAVY DUTY HMA PAVEMENT SECTION
N.T.S.

- 1 2.0" HMA SURFACE COURSE, MIX "D", NSO
- 2 4.0" HMA BINDER COURSE, IL 19.0, N50
- 3 8.0" AGGREGATE BASE COURSE, TYPE B
- 4 COMPACTED AND STABLE SUBGRADE



LIGHT DUTY HMA PAVEMENT SECTION
N.T.S.

- 1 1.5" HMA SURFACE COURSE, MIX "D", NSO
- 2 2.0" HMA BINDER COURSE, IL 19.0, N50
- 3 8.0" AGGREGATE BASE COURSE, TYPE B
- 4 COMPACTED AND STABLE SUBGRADE



TYPICAL CONCRETE PAVEMENT SECTION
LOADING DOCK
N.T.S.

| LEGEND | | |
|----------|---|----------|
| EXISTING | DESCRIPTION | PROPOSED |
| | DRAIN TILE | |
| | STORM SEWER | |
| | SANITARY SEWER | |
| | SANITARY TRUNK SEWER | |
| | WATER MAIN (WITH SIZE) | |
| | PIPE TRENCH BACKFILL | |
| | GAS MAIN | |
| | TELEPHONE LINES | |
| | ELECTRIC LINE | |
| | FENCE | |
| | RIGHT-OF-WAY | |
| | EASEMENT | |
| | PROPERTY LINE | |
| | SETBACK LINE | |
| | CENTERLINE | |
| | CONTOUR | |
| | SANITARY MANHOLE | |
| | STORM MANHOLE | |
| | CATCH BASIN | |
| | INLET | |
| | FIRE HYDRANT | |
| | PRESSURE CONNECTION | |
| | PIPE REDUCER | |
| | VALVE AND VAULT, VALVE | |
| | FLARED END SECTION | |
| | STREET LIGHT | |
| | UTILITY POLE | |
| | CONTROL POINT | |
| | SIGN | |
| | SPOT ELEVATION xxx.xx | |
| | SOIL BORING | |
| | OVERLAND FLOW ROUTE | |
| | DRAINAGE SLOPE | |
| | GUARDRAIL | |
| | WATER'S EDGE | |
| | CONCRETE | |
| | STANDARD PITCH CURB | |
| | TREE, FIR, TREE, BUSH, & PROPOSED TREE TO REMOVE | |

ABBREVIATIONS

| | | |
|---------------------------|-------------------------------|------------------------|
| M = STORM MANHOLE | I = INVERT OR INLET | T/P = TOP OF PIPE |
| S = SANITARY MANHOLE | TF = TOP OF FOUNDATION | B/P = BOTTOM OF PIPE |
| CB = CATCH BASIN | GF = GARAGE FLOOR | WM = WATERMAIN |
| LP = LIGHT POLE | TC = TOP OF CURB | SAN = SANITARY SEWER |
| VV = VALVE VAULT | TD = TOP OF DEPRESSION CURB | STM = STORM SEWER |
| E = END SECTION | TW = TOP OF RETAINING WALL | LO = LOOK OUT |
| FH = FIRE HYDRANT | BW = BOTTOM OF RETAINING WALL | PLO = PARTIAL LOOK OUT |
| GR = GRADE RING (HYDRANT) | OP = OUTLET OF PIPE | |

PERMITS

| DESCRIPTION | LOG NO. | PERMIT NO. | DATE ISSUED |
|-------------|---------|------------|-------------|
| | | | |
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BENCH MARK

SOURCE BENCHMARK: VILLAGE OF WHEELING BENCHMARK BM-9: 25" ALUMINUM DISK STAMPED VILLAGE OF WHEELING - SURVEY MARKER ON THE NORTH SIDE OF WEST WINGWALL OF THE NORTHGATE PARKWAY BOX CULVERT. ELEVATION = 647.521 (NAVD 88)

SITE BENCHMARK #1: SOUTHWESTERLY BONNET BOLT ON FIRST FIRE HYDRANT WEST OF NORTHGATE PARKWAY ON SOUTH SIDE OF ENTRANCE ROAD TO DURABLE PACKING CO. ELEVATION = 656.87 (NAVD 88)

SITE BENCHMARK #2: SQUARE CUT ON SOUTH SIDE OF CONCRETE BASE OF FIRST LIGHT POLE WEST OF NORTHGATE PARKWAY ON SOUTH SIDE OF ENTRANCE TO DURABLE PACKING CO. ELEVATION = 656.08 (NAVD 88)

CONTACT INFORMATION

| | | |
|--|--|--|
| AT&T (630) 573-5450 | AT&T/TCG (630) 390-0089 CONTACT: BOBBY AKHTER | NORTH SHORE GAS COMPANY (847) 263-4638 CONTACT: GRACE PTKAK |
| COMED (630) 576-7094 | VILLAGE OF WHEELING (847) 499-9059 CONTACT: JON TACK | NORTHWEST WATER COMMISSION (847) 635-0777 CONTACT: ROBERT TOBEN |
| COMCAST (630) 600-6352 CONTACT: MARTHA GIERAS | GAS TECHNOLOGY LLC (630) 343-2826 CONTACT: DOUG GONES | USIC LOCATION SERVICES INFO NOT PROVIDED |
| NICOR GAS (630) 388-2362 | WEST SHORE PIPE LINE (610) 904-4409 CONTACT: DAVE JONES | |

TYPICAL SECTIONS AND GENERAL NOTES

800 NORTHGATE PARKWAY
WHEELING, ILLINOIS

| | | |
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| NO. | DATE | REMARKS |
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CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 696-4060 Fax: (847) 696-4065

FILENAME:
1642_04_GN

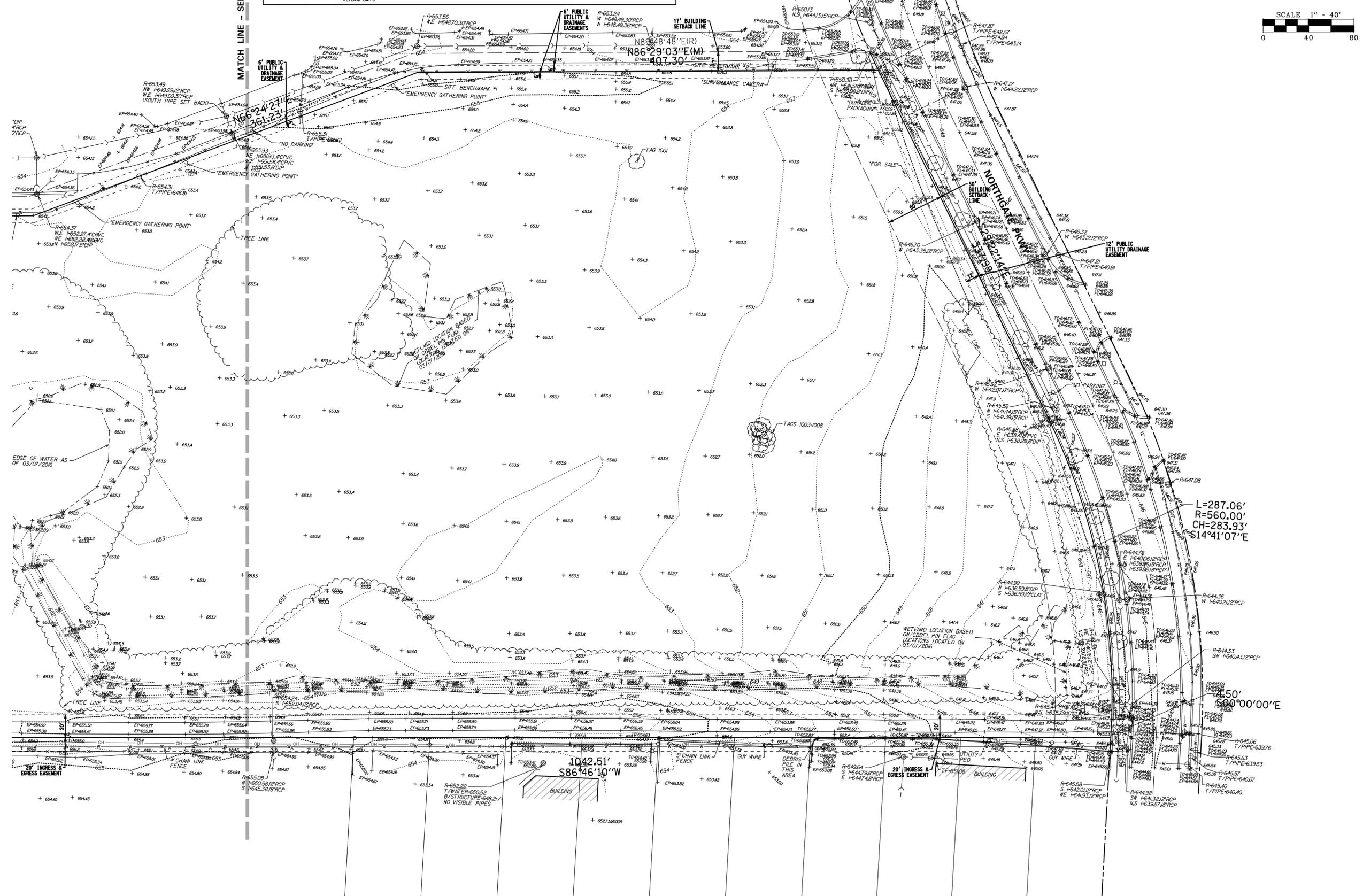
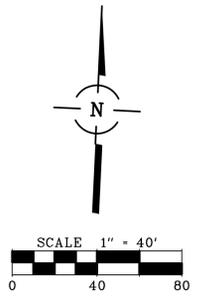
DATE:
09/16/2016

JOB NO.
1642_04

SHEET
GN
2 OF 22

| LEGEND | | | |
|--------|--------------------------------|--|-------------------------|
| | STORM SEWER | | SANITARY MANHOLE |
| | SANITARY SEWER | | CATCH BASIN |
| | COMBINED SEWER | | INLET |
| | WATER MAIN | | FLARED END SECTION |
| | GAS MAIN | | ELECTRIC MANHOLE |
| | UNDERGROUND TELEPHONE LINE | | TELEPHONE UPRIGHT (PED) |
| | UNDERGROUND ELECTRIC LINE | | ELECTRIC UPRIGHT |
| | CATV | | CABLE TV UPRIGHT |
| | OVERHEAD WIRE ON UTILITY POLES | | VALVE AND VAULT |
| | FIBER OPTIC LINE | | BOX |
| | RAILROAD | | WATER VALVE |
| | GUARDRAIL | | B BOX |
| | EDGE OF WATER | | AUXILIARY VALVE |
| | WETLAND LIMITS | | WELL |
| | HAND HOLE | | GAS VALVE |
| | STREET LIGHT | | UTILITY POLE |
| | TRAFFIC SIGNAL | | FIRE HYDRANT |
| | TRAFFIC SIGNAL BOX | | SPRINKLER HEAD |
| | BALLARD | | MALE BOX |
| | SIGN | | UNIDENTIFIED MANHOLE |
| | CONTOUR | | SPOT ELEVATION |
| | RIGHT OF WAY MONUMENT | | IRON / STEEL ROD |
| | DISC | | IRON PIPE |
| | TREE WITH SIZE | | FIR TREE WITH SIZE |
| | BUSH | | ASPHALT |
| | CONCRETE | | GRAVEL |

NOTE:
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES AND, THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE.
 PIPE FLOW DIRECTIONS, IF SHOWN, ARE BASED ON FIELD INVERT ELEVATIONS UNLESS EXISTING PLANS INDICATE OTHERWISE. IN WHICH CASE THE EXISTING PLAN FLOW DIRECTION IS SHOWN.
 LAST DATE OF FIELD WORK: MARCH 22, 2016.



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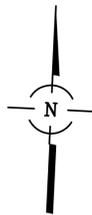
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EXISTING CONDITIONS - 1
800 NORTHGATE PARKWAY
 WHEELING, ILLINOIS

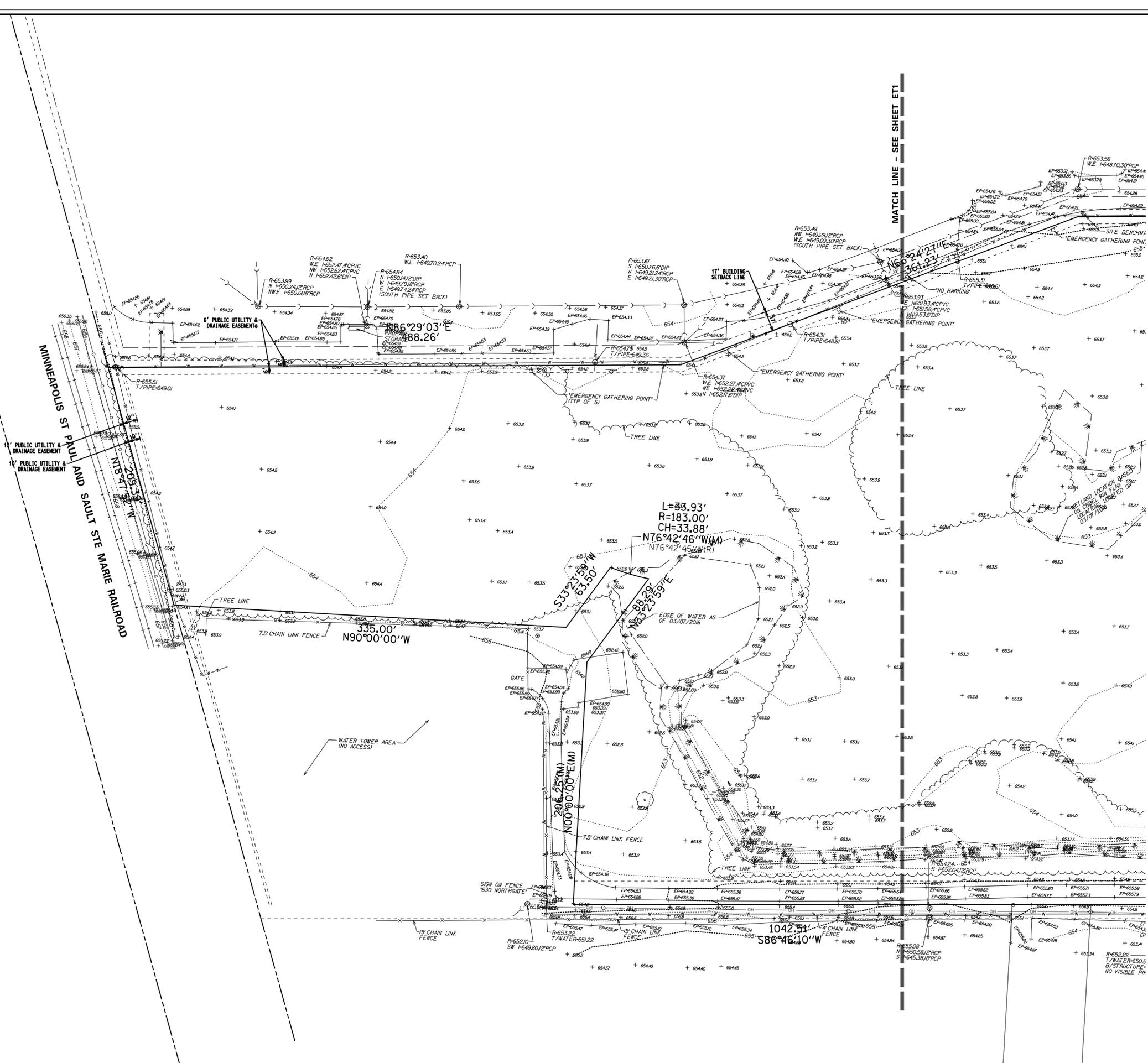
CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS
 9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 676-4060 Fax: (847) 676-4065



FILENAME:
 1642_04_ET01
 DATE:
 09/16/2016
 JOB NO.
 1642_04
 SHEET
ET1
 3 OF 22



SEE SHEET ET1 FOR NOTES AND LEGENDS



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EXISTING CONDITIONS - 2

800 NORTHGATE PARKWAY
WHEELING, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065



SPACECO INC.

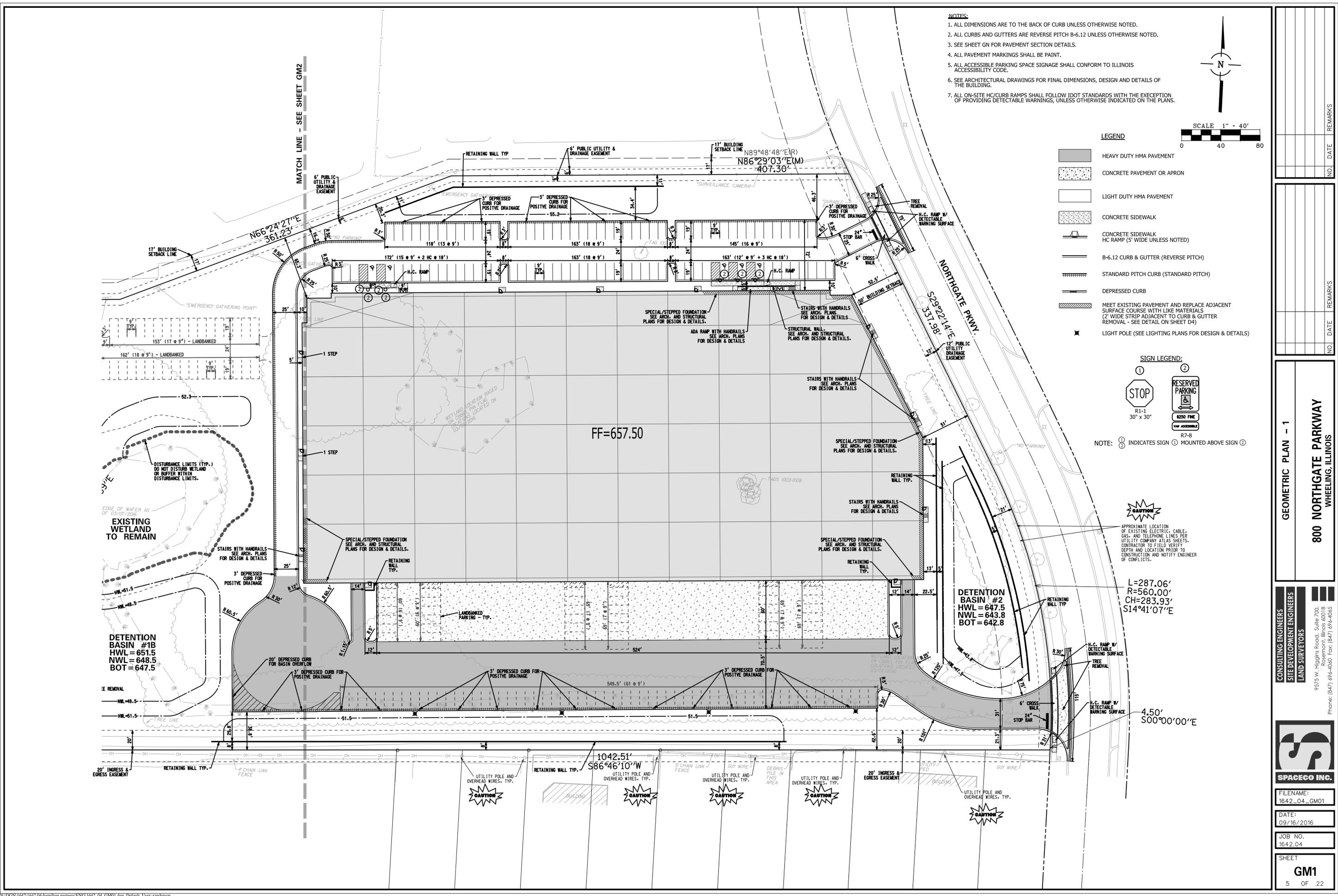
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DATE:
09/16/2016

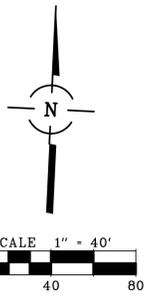
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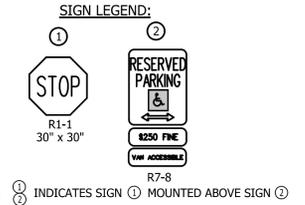
4 OF 22



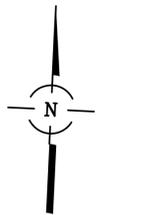
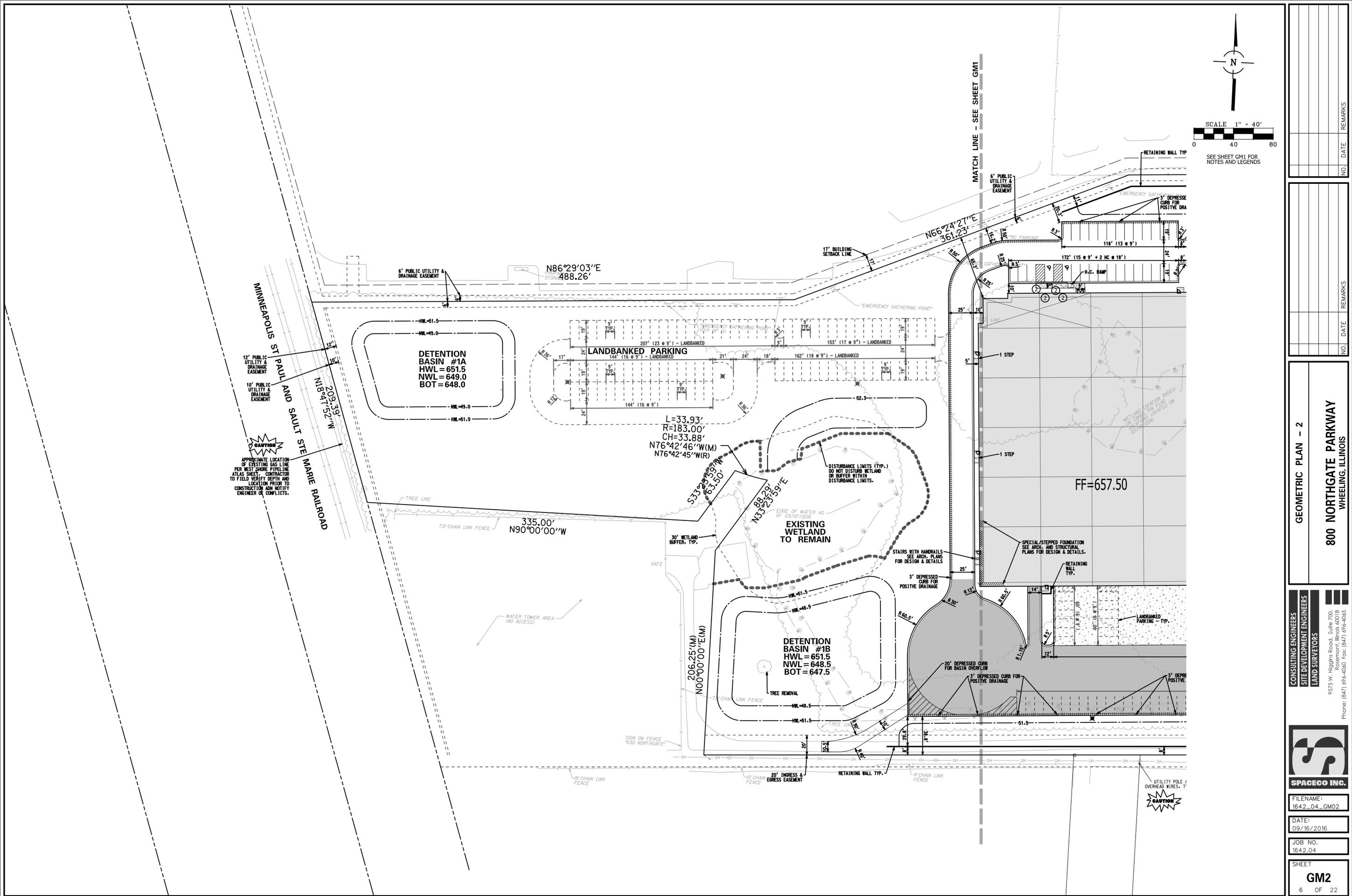
- NOTES:**
1. ALL DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS AND GUTTERS ARE REVERSE PITCH B-6.12 UNLESS OTHERWISE NOTED.
 3. SEE SHEET GN FOR PAVEMENT SECTION DETAILS.
 4. ALL PAVEMENT MARKINGS SHALL BE PAINT.
 5. ALL ACCESSIBLE PARKING SPACE SIGNAGE SHALL CONFORM TO ILLINOIS ACCESSIBILITY CODE.
 6. SEE ARCHITECTURAL DRAWINGS FOR FINAL DIMENSIONS, DESIGN AND DETAILS OF THE BUILDING.
 7. ALL ON-SITE HC/CURB RAMPS SHALL FOLLOW IDOT STANDARDS WITH THE EXCEPTION OF PROVIDING DETECTABLE WARNINGS, UNLESS OTHERWISE INDICATED ON THE PLANS.



- LEGEND**
- HEAVY DUTY HMA PAVEMENT
 - CONCRETE PAVEMENT OR APRON
 - LIGHT DUTY HMA PAVEMENT
 - CONCRETE SIDEWALK
 - CONCRETE SIDEWALK HC RAMP (5' WIDE UNLESS NOTED)
 - B-6.12 CURB & GUTTER (REVERSE PITCH)
 - STANDARD PITCH CURB (STANDARD PITCH)
 - DEPRESSED CURB
 - MEET EXISTING PAVEMENT AND REPLACE ADJACENT SURFACE COURSE WITH LIKE MATERIALS (2' WIDE STRIP ADJACENT TO CURB & GUTTER REMOVAL - SEE DETAIL ON SHEET D4)
 - LIGHT POLE (SEE LIGHTING PLANS FOR DESIGN & DETAILS)



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|---|---|
| GEOMETRIC PLAN - 1 800 NORTHGATE PARKWAY WHEELING, ILLINOIS | <p>CONSULTING ENGINEERS SITE DEVELOPMENT ENGINEERS LAND SURVEYORS</p> <p>9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-4000 Fax: (847) 676-4005</p> |
| <p>FILENAME: 1642_04_GM01 DATE: 09/16/2016 JOB NO. 1642.04 SHEET GM1 5 OF 22</p> | |



SCALE 1" = 40'

SEE SHEET GM1 FOR NOTES AND LEGENDS

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| NO. | DATE | REMARKS |
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GEOMETRIC PLAN - 2
800 NORTHGATE PARKWAY
 WHEELING, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 676-4060 Fax: (847) 676-4065



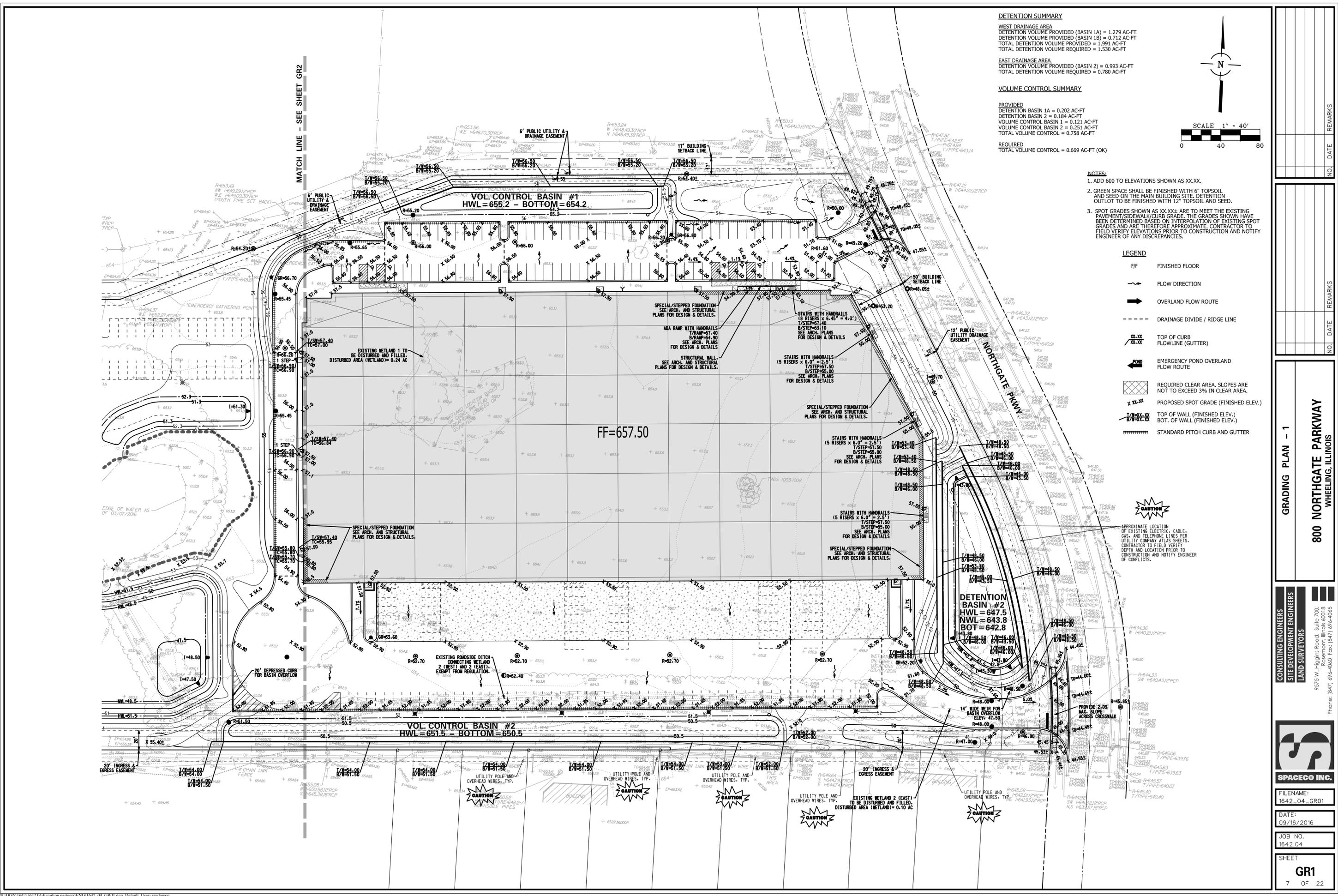
SPACECO INC.

FILENAME:
1642_04_GM02

DATE:
09/16/2016

JOB NO.
1642_04

SHEET
GM2
6 OF 22



DETENTION SUMMARY

WEST DRAINAGE AREA
 DETENTION VOLUME PROVIDED (BASIN 1A) = 1.279 AC-FT
 DETENTION VOLUME PROVIDED (BASIN 1B) = 0.712 AC-FT
 TOTAL DETENTION VOLUME PROVIDED = 1.991 AC-FT
 TOTAL DETENTION VOLUME REQUIRED = 1.530 AC-FT

EAST DRAINAGE AREA
 DETENTION VOLUME PROVIDED (BASIN 2) = 0.993 AC-FT
 TOTAL DETENTION VOLUME REQUIRED = 0.790 AC-FT

VOLUME CONTROL SUMMARY

PROVIDED
 DETENTION BASIN 1A = 0.202 AC-FT
 DETENTION BASIN 2 = 0.184 AC-FT
 VOLUME CONTROL BASIN 1 = 0.121 AC-FT
 VOLUME CONTROL BASIN 2 = 0.251 AC-FT
 TOTAL VOLUME CONTROL = 0.758 AC-FT

REQUIRED
 TOTAL VOLUME CONTROL = 0.669 AC-FT (OK)

- NOTES:**
- ADD 600 TO ELEVATIONS SHOWN AS XX.XX.
 - GREEN SPACE SHALL BE FINISHED WITH 6" TOPSOIL AND SEED ON THE MAIN BUILDING SITE. DETENTION OUTLOT TO BE FINISHED WITH 12" TOPSOIL AND SEED.
 - SPOT GRADES SHOWN AS XX.XX ARE TO MEET THE EXISTING PAVEMENT/SIDEWALK/CURB GRADE. THE GRADES SHOWN HAVE BEEN DETERMINED BASED ON INTERPOLATION OF EXISTING SPOT GRADES AND ARE THEREFORE APPROXIMATE. CONTRACTOR TO FIELD VERIFY ELEVATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.

- LEGEND**
- FF FINISHED FLOOR
 - FLOW DIRECTION
 - OVERLAND FLOW ROUTE
 - DRAINAGE DIVIDE / RIDGE LINE
 - XX.XX TOP OF CURB FLOWLINE (GUTTER)
 - EMERGENCY POND OVERLAND FLOW ROUTE
 - REQUIRED CLEAR AREA. SLOPES ARE NOT TO EXCEED 3% IN CLEAR AREA.
 - XX.XX PROPOSED SPOT GRADE (FINISHED ELEV.)
 - 1/1=XX.XX BOT. OF WALL (FINISHED ELEV.)
 - STANDARD PITCH CURB AND GUTTER

| NO. | DATE | REMARKS |
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GRADING PLAN - 1
 800 NORTHGATE PARKWAY
 WHEELING, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 676-4060 Fax: (847) 676-4065

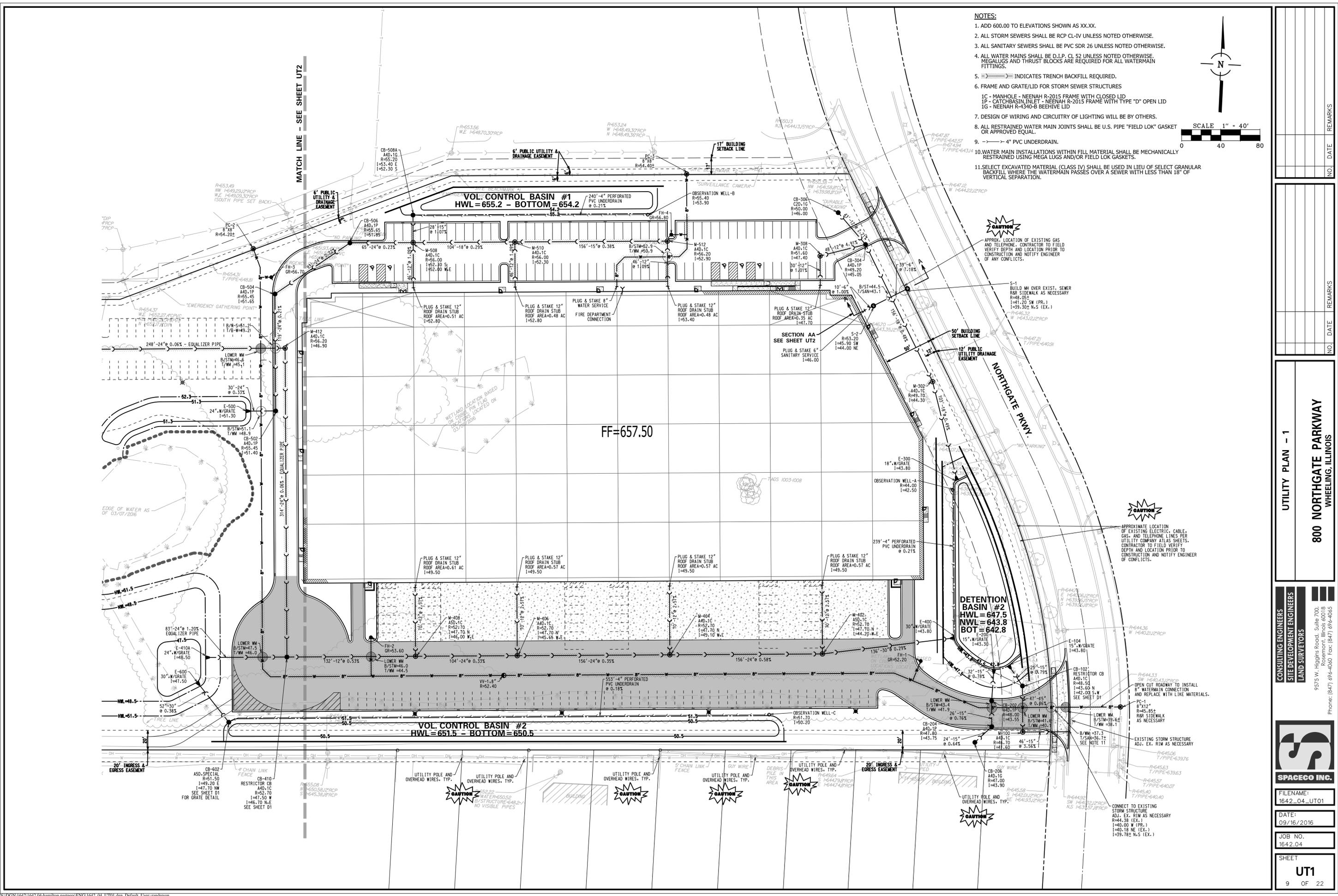
SPACECO INC.

FILENAME:
 1642_04_GRO1

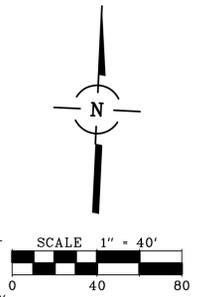
DATE:
 09/16/2016

JOB NO.
 1642_04

SHEET
GR1
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- NOTES:**
1. ADD 600.00 TO ELEVATIONS SHOWN AS XX.XX.
 2. ALL STORM SEWERS SHALL BE RCP CL-IV UNLESS NOTED OTHERWISE.
 3. ALL SANITARY SEWERS SHALL BE PVC SDR 26 UNLESS NOTED OTHERWISE.
 4. ALL WATER MAINS SHALL BE D.I.P. CL 52 UNLESS NOTED OTHERWISE. MEGALUGS AND THRUST BLOCKS ARE REQUIRED FOR ALL WATERMAIN FITTINGS.
 5. [Symbol] INDICATES TRENCH BACKFILL REQUIRED.
 6. FRAME AND GRATE/LID FOR STORM SEWER STRUCTURES
 1C - MANHOLE - NEENAH R-2015 FRAME WITH CLOSED LID
 1P - CATCHBASIN INLET - NEENAH R-2015 FRAME WITH TYPE "D" OPEN LID
 1G - NEENAH R-4340-B BEEHIVE LID
 7. DESIGN OF WIRING AND CIRCUITRY OF LIGHTING WILL BE BY OTHERS.
 8. ALL RESTRAINED WATER MAIN JOINTS SHALL BE U.S. PIPE "FIELD LOK" GASKET OR APPROVED EQUAL.
 9. [Symbol] 4" PVC UNDERDRAIN.
 10. WATER MAIN INSTALLATIONS WITHIN FILL MATERIAL SHALL BE MECHANICALLY RESTRAINED USING MEGA LUGS AND/OR FIELD LOK GASKETS.
 11. SELECT EXCAVATED MATERIAL (CLASS IV) SHALL BE USED IN LIEU OF SELECT GRANULAR BACKFILL WHERE THE WATERMAIN PASSES OVER A SEWER WITH LESS THAN 18" OF VERTICAL SEPARATION.



| NO. | DATE | REMARKS |
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UTILITY PLAN - 1
800 NORTHGATE PARKWAY
 WHEELING, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 676-4000 Fax: (847) 676-4005

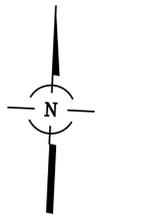
SPACECO INC.

FILENAME:
1642_04_UT01

DATE:
09/16/2016

JOB NO.
1642_04

SHEET
UT1
9 OF 22



SEE SHEET UT1 FOR NOTES AND LEGENDS

| | | |
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| NO. | DATE | REMARKS |
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| NO. | DATE | REMARKS |
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UTILITY PLAN - 2
800 NORTHGATE PARKWAY
WHEELING, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065



SPACECO INC.

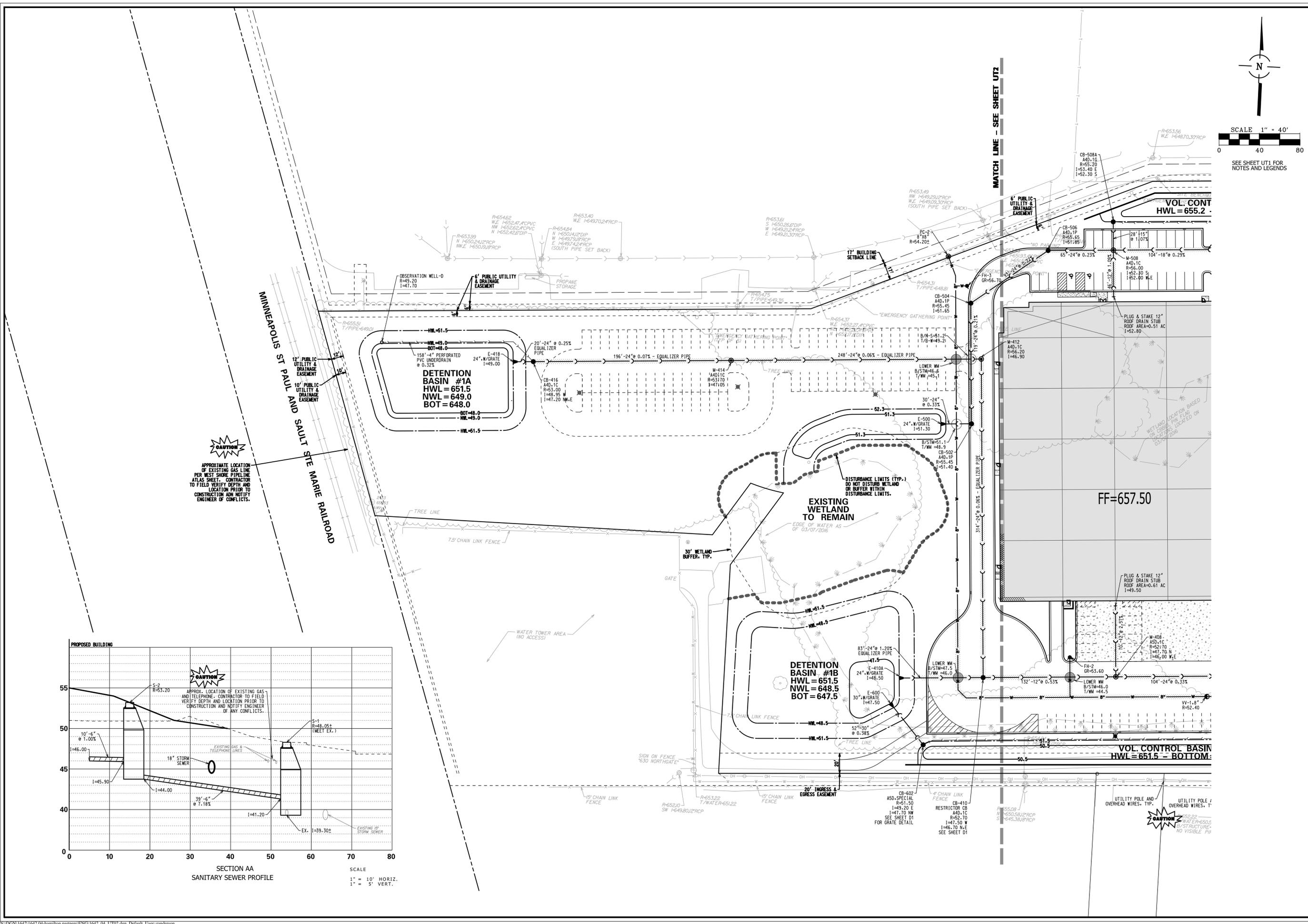
FILENAME:
1642_04_UT02

DATE:
09/16/2016

JOB NO.
1642_04

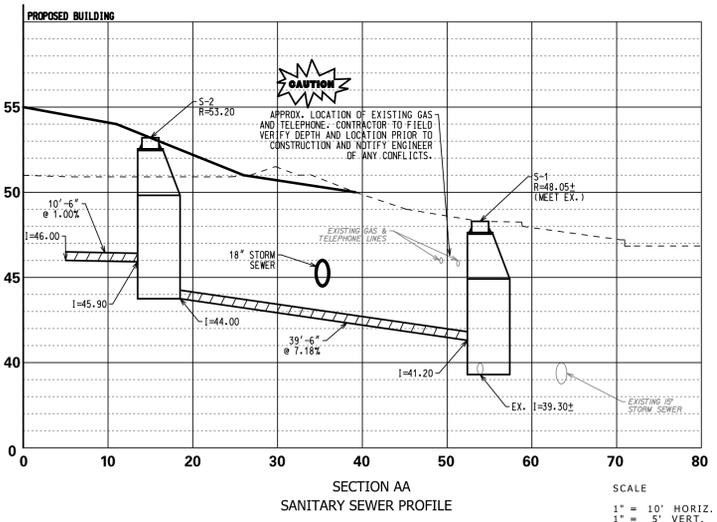
SHEET
UT2

10 OF 22



CAUTION
APPROXIMATE LOCATION OF EXISTING GAS LINE PER WEST SHORE PIPELINE ATLAS SHEET. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS.

CAUTION
APPROX. LOCATION OF EXISTING GAS AND TELEPHONE. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS.



This Soil Erosion & Sediment Control (SESC) Plan has been prepared to fulfill one of the requirements of the National Pollutant Discharge Elimination System (NPDES) General Permit No. ILRI0. The SESC Plan should be maintained on site as an integral component of the Storm Water Pollution Prevention Plan (SWPPP). The SWPPP, including the SESC Plan, should be amended whenever there is a change in design, construction, operation, or maintenance, which has a significant effect on the potential for the discharge of pollutants to the Waters of the State and which has not otherwise been addressed in the SWPPP. The SWPPP should also be amended if it proves to be ineffective in eliminating or significantly minimizing pollutants, or in otherwise achieving the general objectives of controlling pollutants in storm water discharges associated with construction site activity. In addition, the SWPPP shall be amended to identify any new contractor and/or subcontractor that will implement a measure of the SWPPP.

1. SITE DESCRIPTION

A. The following is a description of the nature of the construction activity: The construction of an office/warehouse building with loading docks, internal drive aisles, parking aisles, and associated utilities.

B. The following is a description of the intended sequence of construction activities which will disturb soils for major portions of the construction site:

Describe proposed construction sequence, sample follows:

- 1) Install perimeter sediment control measure
- a) Selective vegetation removal for silt fence installation
- b) Silt fence installation
- c) Construction fencing around areas not to be disturbed
- d) Stabilize construction entrances
- e) Construct sediment trapping devices (sediment traps, sediment basins, etc.)
- f) Construct outlet facilities and outlet control structure with restrictor & temporary perforated riser
- g) Strip topsoil, stockpile topsoil and grade site
- h) Temporarily stabilize topsoil stockpiles (seed and silt fence around top of slope)
- i) Install storm sewer, sanitary sewer, watermain and associated inlet & outlet protection
- 8) Permanently stabilize detention basins with seed and erosion control blanket
- 9) Temporarily stabilize all areas including lots that have received mass grade
- 10) Install roadways
- 11) Permanently stabilize all outlet areas
- 12) Install building and grade individual lots
- 13) Permanently stabilize lots
- 14) Remove all temporary soil erosion and sediment control measures after the site is stabilized with vegetation

C. The site has a total acreage of approximately 14 acres. Construction activity will disturb approximately 14 acres of the site.

D. 1) An estimated runoff coefficient of the site after construction activities are completed is 0.81.
2) Existing data describing the soil or quality of any discharge from the site is included in _____.

E. Refer to Sheets GR1, GR2, AND SE1-SE4 for a site plan indicating:
1) drainage patterns
2) approximate slopes anticipated before and after major grading activities
3) locations where vehicles enter or exit the site and controls to minimize off-site sediment tracking
4) areas of soil disturbance
5) the location of major structural and nonstructural controls
6) the location of areas where stabilization practices are expected to occur
7) surface waters (including wetlands) and
8) locations where storm water is discharged to a surface water.

F. 1) The name of the receiving water(s) is/are: See Floodplain Atlas
2) The name of the ultimate receiving water is: See Floodplain Atlas
3) The extent of wetland acreage of the site is: 0.31 acres.

G. Potential sources of pollution associated with this construction activity may include:
- sediment from disturbed soils
- portable sanitary stations
- fuel tanks
- fueling areas
- waste containers
- chemical storage areas
- oil or other petroleum products
- adhesives
- tar
- solvents
- detergents
- fertilizers
- raw materials (e.g., bagged portland cement)
- construction debris
- landscape waste
- concrete and concrete trucks
- litter

2. CONTROLS

This section of the SESC Plan describes the various controls that should be implemented for each of the major construction activities described in the "Site Description" section. For each measure identified in the SWPPP, the contractor that will implement the measure should be identified. All contractors and subcontractors that are identified should be required to sign a copy of the certification statement from Part IV.F. of the ILRI0 Permit (in accordance with Part VI.G. of the SESC Plan) and/or manufacturer's instructions. All signed certification statements should be maintained in the SWPPP.

A. Approved State or Local Plans

The management practices, controls and other provisions contained in the SWPPP should be at least as protective as the requirements contained in the Illinois Environmental Protection Agency's (IEPA) and the United States Department of Agriculture's National Resource Conservation Service's (NRCS) Illinois Urban Manual, 2002. Requirements specified in sediment and erosion control site plans or site permits or storm water management site plans or site permits approved by local officials that are applicable to protecting surface water resources are, upon submittal of a Notice of Intent (NOI) to be authorized to discharge under the ILRI0 permit, incorporated by reference and are enforceable under the ILRI0 permit even if they are not specifically included in a SWPPP required under the ILRI0 permit. This provision does not apply to provisions of master plans, comprehensive plans, non-enforceable guidelines or technical guidance documents that are not identified in a specific plan or permit that is issued for the construction site.

The soil erosion and sediment control measures for this site should meet the requirements of the following agencies:
- Village of Wheeling
- North Cook SWCD
- IEPA
- MRDCC

B. Control Implementation Schedule

Best Management Practices will be implemented on an as-needed basis to protect water quality. Perimeter controls of the site should be installed prior to soil disturbance necessary to install the controls, including demolition activities. Perimeter controls, including the silt fence, should be actively maintained until final stabilization of those portions of the site upward of the perimeter control. Stabilized construction entrances and sediment traps should be installed as described in the intended sequence of construction activities. The contractor is responsible for the adequate protection (including sediment control) of existing sewers and sewer structures during construction operations. As necessary, the appropriate sediment control measure should be installed prior to land disturbing activities.

Stabilization measures should be initiated where construction activities have temporarily or permanently ceased. In accordance with Local and State requirements, as described below, once construction activity in an area has permanently ceased, that area should be permanently stabilized. Temporary perimeter controls should be removed after final stabilization of those portions of the site upward of the perimeter control.

C. Erosion and Sediment Controls

The appropriate soil erosion and sediment controls should be implemented on site and should be modified to reflect the current phase of construction. All temporary sediment and erosion control measures should be repaired or replaced as soon as practicable to maintain NPDES compliance. Permittee or an authorized agent is responsible for inspecting all sediment and erosion control measures at a minimum of every 7 calendar days and within 24 hours, or one working day, of the end of a 0.5-inch (or greater) rain event.

Unless otherwise indicated, all vegetative and structural erosion and sediment control practices should be installed to the Standard Practice. The contractor is responsible for the installation of any additional erosion and sediment control measures necessary to minimize erosion and sedimentation as determined by the Engineer or Primary Contact.

1) Stabilization Practices - Areas that will not be paved or covered with non-erodible material should be stabilized using procedures in substantial conformance with the Illinois Urban Manual. This SESC Plan includes site-specific soil erosion and sediment control measures. Additional erosion controls should be implemented as necessary, as determined by the Engineer or Primary Contact.

The following temporary and permanent stabilization practices, at a minimum, are proposed:
- permanent seeding
- temporary seeding
- erosion control blanket

Site-specific scheduling of the implementation of these practices is included in the Soil Protection Chart. A record of the dates when major grading activities occur, when construction activities cease on a portion of the site, and when stabilization measures are initiated should be included in the SWPPP.

Stabilization of disturbed areas must be initiated within 1 working day of permanent or temporary cessation of earth activities and should be completed as soon as possible but not later than 14 days from the finalization of stabilization work in an area. Exceptions to these time frames are specified below.

a. Where the initiation of stabilization measures is precluded by snow cover, stabilization measures shall be initiated as soon as practicable.

b. On areas where construction activity has temporarily ceased and will resume after 14 days, a temporary stabilization method can be used. Temporary stabilization techniques and materials shall conform to the SWPPP.

2) Structural Practices - Provided below is a description of structural practices that should be implemented, to the degree attainable to divert flows from exposed soils, store flows or otherwise limit runoff and the discharge of pollutants from exposed areas of the site. Structural practices should be placed on upland soils to the degree practicable. The installation of the following devices may be subject to Section 404 of the Clean Water Act:

- stabilized construction entrance
- silt fence
- sediment traps (provide locations and dimensions in plan set)

D. Storm Water Management

Provided below is a description of measures that will be installed during the construction process to control the pollutants in storm water discharges that will occur after the construction operations have been completed. The installation of these devices may be subject to Section 404 of the Clean Water Act.

1) The practices selected for implementation were determined on the basis of technical guidance contained in the Illinois Urban Manual, Federal, State, and/or Local Requirements. The storm water management measures include:

- **detention basins**

2) Velocity dissipation devices, such as rip-rap aprons at flared end sections or level spreaders, shall be placed at discharge locations and along the length of any outfall channel as necessary to provide a non-erodible velocity flow from the structure to a watercourse so that the natural, physical, and biological characteristics and functions are maintained and protected (e.g., maintenance of hydrologic conditions, such as the hydraulic and hydrodynamic present prior to the initiation of construction activities).

E. Waste Management

Solid waste materials including trash, construction debris, excess construction materials, machinery, tools and other items will be collected and disposed of off site by the contractor. The contractor is responsible to acquire the permit required for such disposal. Burning on site will not be permitted. No solid materials, including building materials, shall be discharged to Waters of the State, except as authorized by a Section 404 permit. All waste materials should be collected and stored in approved receptacles. No wastes should be placed in any location other than in the approved containers appropriate for the materials to be disposed. There should be no liquid wastes deposited into dumpsters or other containers which may leak. Receptacles with deficiencies should be repaired as soon as possible and the appropriate clean-up procedure should take place, if necessary. Construction waste material is not to be buried on site. Waste disposal should comply with all Local, State, and Federal regulations.

On-site hazardous material storage should be minimized and stored in labeled, separate receptacles from non-hazardous waste. All hazardous waste should be disposed of in the manner specified by Local or State regulation or by the manufacturer.

F. Concrete Waste Management

Concrete waste or washout should not be allowed in the street or allowed to reach a storm water drainage system or watercourse. When practicable, a sign should be posted at each location to identify the washout. To the extent practicable, concrete washout areas should be located at reasonable distance from a storm water drainage inlet or watercourse, and should be located at least 10 feet behind the curb, if the washout area is adjacent to a paved road. A stabilized entrance that meets Illinois Urban Manual standards should be installed at each washout area.

The containment facilities should be of sufficient volume to completely contain all liquid and concrete waste materials including enough capacity for anticipated levels of rainwater. The dried concrete waste material should be picked up and disposed of in accordance with local, state, and federal regulations. Hazardous concrete can be recycled and used again on site (as approved by the Engineer) or hauled off site to an appropriate landfill.

G. Concrete Cutting

Concrete waste management should be implemented to contain and dispose of saw-cutting slurries. Concrete cutting should be cleaned-up and disposed into the concrete washout facility as described above.

H. Vehicle Storage and Maintenance

When not in use, construction vehicles should be stored in a designated area(s) outside of the regulatory floodplain, away from any natural or created watercourse, pond, drainage-way or storm drain. Controls should be installed to minimize the potential of runoff from the storage area(s) from reaching storm drains or water courses. Vehicle maintenance, including both routine and major repairs, should be done within a designated area(s) to prevent the migration of mechanical fluids (oil, antifreeze, etc.) into watercourses, wetlands or storm drains. Drip pans or absorbent pads should be used for all vehicle and equipment maintenance activities involving grease, oil, solvents, or other vehicle fluids. Construction vehicles should be inspected frequently to identify any leaks; leaks should be repaired immediately. If a vehicle should be removed from site, disposal of all used oil, antifreeze, solvents and other vehicle-related chemicals in accordance with the United States Environmental Protection Agency (USEPA) and IEPA regulations and per Material Safety Data Sheet (MSDS) and/or manufacturer's instructions. Contractors should immediately report spills to the Primary Contact.

I. Material Storage and Good Housekeeping

Materials and/or contaminants should be stored in a manner that minimizes the potential to discharge into storm drains or watercourses. An on-site area should be designated for material delivery and storage. All materials kept on site should be stored in their original containers with legible labels, and if possible, under a roof or other enclosure. Labels should be replaced if damaged or difficult to read. Bermed-off storage areas are an acceptable control measure to prevent contamination of storm water. MSDS should be available for referencing clean-up procedures. Any release of chemicals/contaminants should be immediately cleaned up and disposed of properly. Contractors should immediately report all spills to the Primary Contact, who should notify the appropriate agencies, if needed.

To reduce the risks associated with hazardous materials on site, hazardous products should be kept in original containers (if they are not damaged) and they are not damaged, they are not damaged, they are not damaged. MSDS should be retained on site at all time. Hazardous materials and all other material on site should be stored in accordance with manufacturer or MSDS specifications. When disposing of hazardous materials, follow manufacturer or Local and State recommended methods.

The following good housekeeping practices should be followed on site during the construction project:
- An effort should be made to store only enough product required to do the job.
- All materials stored on site should be stored in a neat, orderly manner in their appropriate containers and adequately protected from the environment.
- Products should be kept in their original containers with the original manufacturer's label.
- Substances should not be mixed with one another unless recommended by the manufacturer.
- Operations should be observed as necessary to ensure proper use and disposal of materials on site.
- Whenever possible, all of a product should be used up before disposing of the container.
- Manufacturer's recommendations for proper use and disposal should be followed.

J. Management of Portable Sanitary Stations

To the extent practicable, portable sanitary stations should be located in an area that does not drain to any protected natural areas, Waters of the State, or storm water structures and should be anchored to the portable sanitary station. Portable sanitary stations located on impervious surfaces should be placed on top of a secondary containment device, or be surrounded by a control device (e.g., gravel-bag berm). The contractor should not create or allow unsanitary conditions. Sanitary waste should be disposed of in accordance with applicable State and/or Local regulations.

K. Spill Prevention and Clean-up Procedures

Manufacturer's recommended methods for spill clean-up should be available and site personnel should be made aware of the procedures and the location of the information and clean-up supplies. Materials and equipment necessary for spill clean-up should be kept in the material storage area on site. Equipment and materials should be maintained in good working order. Spills of fuels, oils, greases, goggles, kitty litter, sand, sawdust and plastic and/or metal trash containers specifically for this purpose.

Discharges of a hazardous substance or oil caused by a spill (e.g., a spill of oil into a separate storm sewer or Waters of the State) are not authorized by the ILRI0 permit. If a spill occurs, notify the Primary Contact immediately. The construction site should have the capacity to contain, control, and remove spills. If they occur, spills should be cleaned up immediately (after discovery) in accordance with MSDS and should not be buried on site or washed into storm sewer drainage inlets, drainage-ways, or Waters of the State.

Spills in excess of Federal Reportable Quantities (as established under 40 CFR Parts 110, 117, or 302), should be reported to the National Response Center by calling (800) 424-8802. MSDS often include information on Federal Reportable Quantities for materials. Spills of toxic or hazardous materials should be reported to the appropriate State or Local government agency, as required, when dealing with a spill. The spill should be kept well ventilated and appropriate personal protective equipment should be used to minimize injury from contact with a hazardous substance.

In addition to the good housekeeping and other management practices discussed in the previous sections of these Notes, the following minimum practices should be followed to reduce the risk of spills:
- On-site vehicles should be monitored for leaks and should receive regular preventative maintenance to reduce the chance of leakage.
- Petroleum products should be stored in tightly sealed and clearly labeled containers.
- Contractors should follow the manufacturer's recommendations for proper use, storage, and disposal of materials. Excess materials should be disposed of according to the manufacturer's instructions or State and Local regulations, and should not be discharged to the storm sewer or waterbody.

L. De-Watering Operations

During water-removal/pumping operations, only uncontaminated water should be allowed to discharge to protected natural areas, Waters of the State, or to a storm sewer system in accordance with Local permits. Inlet hoses should be placed in a stabilized sand pit or floated on the surface of the water in order to limit the amount of sediment intake. Operations may be discharged to a stabilized area that consists of an energy dissipating device (e.g., stone), sediment filter bag, or both. Adequate erosion controls should be used during de-watering operations as necessary. Stabilized conveyance channels should be installed to direct water to the desired location as applicable. Additional control measures may be installed at the outlet area at the discretion of the Primary Contact or Engineer.

M. Off-Site Vehicle Tracking

The site should have one or more stabilized construction entrances in conformance with the Plan details. Stabilized construction entrances should be installed to help reduce vehicle tracking of sediments. Streets should be swept as needed to reduce excess sediment, dirt, or stone tracked from the site. Maintenance may include top dressing the street with sand or stone and removing top layers of stone and sediment, as needed. Vehicles hauling erodible material to and from the construction site should be covered with a tarp.

N. Topsoil Stockpile Management

If topsoil is to be stockpiled at the site, select a location so that it will not erode, block drainage, or interfere with work on site. Topsoil stockpiles should not be located in the 100-year floodplain or designated buffer protecting Waters of the State. During construction of the project, soil stockpiles should be stabilized using the following practices: Perimeter controls, including silt fences, should be placed around the stockpile immediately. Stabilization of the stockpile should be completed if the stockpile is to remain undisturbed for longer than fourteen days.

O. Dust Control

Dust control should be implemented on site as necessary. Repetitive treatment should be applied as needed to sensitive on-site areas, and should be placed in an area that allows for the bag to be removed without producing a sediment discharge. The bags should be inspected frequently and repaired or replaced as needed.

If field observations indicate that additional protection from wind erosion (in addition to, or in place of watering) is necessary, alternative dust suppression controls should be implemented at the discretion and approval of the Engineer and/or Primary Contact.

Street cleaning should also be used as necessary to control dust. Paved areas that have soil on them from the construction site should be cleaned as needed, utilizing a street sweeper or bucket-type endloader or scraper at the direction of the Engineer and/or Primary Contact.

3. MAINTENANCE

Maintenance of the controls incorporated into this project should be performed as needed to assure their continued effectiveness. This includes prompt and effective repair and/or replacement of deficient control measures. The following is a description of procedures that should be used to maintain, in good and effective operating condition, erosion and sediment control measures and other protective measures identified in the SESC Plan and Standard Specifications.

Dust control: When temporary dust control measures are used, repetitive treatment should be applied as needed to accomplish control.

Sediment filter bags: Sediment filter bags should be installed on pump outlet hoses that discharge off site or to sensitive on-site areas, and should be placed in an area that allows for the bag to be removed without producing a sediment discharge. The bags should be inspected frequently and repaired or replaced as needed.

Silt fence: Silt fences should be inspected regularly for undercutting where the fence meets the ground, overlapping and tears along the length of the fence. Deficiencies should be repaired immediately. Remove accumulated sediments from the fence base when the sediment reaches one-half the fence height. During final stabilization, properly dispose of any sediment that has accumulated on the silt fence. Alternative sediment control measures should be considered for areas where silt fence continually fails.

Stabilized construction entrances: The stabilized construction entrances should be maintained to prevent tracking of sediment onto public streets. Maintenance includes top dressing with additional stone and removing top layers of stone and sediment. The sediment tracked onto the public right-of-way should be removed immediately.

Temporary sediment traps: Temporary sediment traps should be inspected after each period of significant rainfall. Remove sediment and restore the trap to its original condition when the sediment has accumulated to one-half the design depth of the permanent pool. Place the sediment that is removed in a designated disposal area. Check the structure for damage from erosion or piping. After all sediment-producing areas have been permanently stabilized, remove the structure and all unstable sediment. Grade the area to blend with the adjoining areas and stabilize properly.

4. INSPECTIONS

The Permittee (or their authorized representative) will be responsible for conducting site inspections in compliance with the ILRI0 NPDES Permit. After each inspection, a report should be prepared by the qualified personnel who performed the inspection. The inspection report should be maintained on site as part of the SWPPP.

Inspections should be conducted at least once every seven calendar days and within 24 hours or by the end of the following work day, of the end of a storm event that is 0.5 inches or greater, or equivalent snowfall.

Inspections may be reduced to once per month when construction activities have ceased due to frozen conditions. Weekly inspections will recommence when construction activities are conducted, or if there is 0.5" or greater rain event, or a discharge due to snowmelt occurs.

Each inspection should include the following components:

A. Disturbed areas and areas used for the storage of materials that are exposed to precipitation should be inspected for evidence of, or the potential for, pollutants entering the drainage system. The erosion and sediment control measures identified in the SWPPP should be observed to ensure that they have been installed and are operating correctly. Where discharge points are accessible, they should be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to the receiving waters. Locations where vehicles enter or exit the site should be inspected for off-site sediment tracking. All pumping operations and other potential non-storm water discharge sources should also be inspected.

B. Based on the results of the inspection, the description of potential pollution sources identified, and the pollution prevention measures described in the SWPPP should be revised, as appropriate, as soon as practicable after the inspection. The modifications, if any, shall provide for timely implementation of any changes to the SWPPP within 7 calendar days following the inspection.

C. A report summarizing the scope of the inspection, name(s) and qualifications of personnel making the inspection, the date(s) of the inspection, major observations relating to the implementation of the SWPPP, and actions taken in accordance with paragraph B. above should be made and retained as part of the SWPPP for at least three years from the date that permit coverage expires or is terminated. The report shall be signed in accordance with Part VI.G. (Signatory Requirements) of the ILRI0 NPDES Permit.

D. The Permittee shall notify the appropriate agency field operations section office by e-mail at: epa.sanncorp@illinois.gov, or telephone or fax within 24 hours of any incidence of non-compliance for any violation of the storm water pollution prevention plan observed during any inspection conducted or violation of any condition of this permit. The Permittee should complete and submit within 5 days an "Incidence of Non-Compliance (INCOM)" report for any violation of the SWPPP observed during an inspection conducted, including by the SWPPP. Submission should be on forms provided by IEPA and include specific information on the cause of non-compliance, actions which were taken to prevent any further causes of non-compliance, and a statement detailing any environmental impact, which may have resulted from the non-compliance.

E. All reports of non-compliance shall be signed by a responsible authority as defined in Part VI.G. (Signatory Requirements) of the ILRI0 NPDES Permit.

F. After the initial contact has been made within the appropriate agency field operations section office, all reports of non-compliance shall be mailed to IEPA at the following address:
Illinois Environmental Protection Agency
Division of Water Pollution Control
Compliance Assurance Section
1021 North Grand Avenue East
Post Office Box 19276
Springfield, Illinois 62794-9276

5. NON-STORM WATER DISCHARGES

Except for flows from fire fighting activities, possible sources of non-storm water that may be combined with storm water discharges associated with the proposed activity, are described below:

- Fire fighting activities
- Fire hydrant flushings
- Water used to wash vehicles where detergents are not used
- Water used to control dust
- Portable water sources including uncontaminated waterline flushings
- Landscape irrigation drainages
- Routine exterior building washdown which does not use detergents
- Pavement wash waters where spills or leaks of toxic or hazardous materials have not occurred
- Unless spilled materials have been removed and where detergents have not been used.
- Uncontaminated air conditioning condensate
- Springs
- Irrigation ditches
- Uncontaminated ground water
- Foundation or footing drains where flows are not contaminated with process materials such as solvents

6. PROHIBITED NON-STORMWATER DISCHARGES

- Concrete and wastewater from washout of concrete (unless managed by an appropriate contact)
- Drywall compound
- Washwater from washout and cleanup of stucco, paint
- Form release oils
- Curing compounds and other construction materials
- Fuels, oils, or other pollutants used in vehicle or equipment operation and maintenance
- Soaps, solvents, or detergents
- Toxic or hazardous substances from a spill or other release
- Any other pollutant that could cause or tend to cause water pollution

Pollution prevention measures should be implemented for non-storm water components of the discharge.

| STABILIZATION TYPE | JAN. | FEB. | MAR. | APR. | MAY | JUNE | JULY | AUG. | SEPT. | OCT. | NOV. | DEC. |
|--------------------|------|------|------|------|-----|------|------|------|-------|------|------|------|
| PERMANENT SEEDING | | | A | | | | | | | | | |
| DORMANT SEEDING | B | | | | | | | | | | B | |
| TEMPORARY SEEDING | | | C | | | D | | | | | | |
| SODDING | | | E** | | | | | | | | | |
| MULCHING | F | | | | | | | | | | | |

A KENTUCKY BLUEGRASS 90 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 30 LBS/ACRE
B KENTUCKY BLUEGRASS 135 LBS/ACRE MIXED WITH PERENNIAL RYEGRASS 45 LBS/ACRE + STRAW MULCH 2 TONS/ACRE
C SPRING OATS 100 LBS/ACRE
D WHEAT OR CEREAL RYE 150 LBS/ACRE
E SOD
F STRAW MULCH 2 TONS/ACRE

* IRRIGATION NEEDED DURING JUNE AND JULY.
** IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD.

SOIL PROTECTION CHART

PLAN CODE: PR

NOT TO SCALE

1. THE PERFORATED RISER SHALL BE PROVIDED AS PART OF THE SEDIMENT AND EROSION CONTROL MEASURES DURING CONSTRUCTION AND IN CONJUNCTION WITH THE CONSTRUCTION OF THE DETENTION BASIN.

2. WHEN THE DETENTION BASIN AND UPSTREAM TRIBUTARY DRAINAGE ARE REVEGETATED, AND WHEN DIRECTED BY THE ENGINEER, THE PERFORATED RISER SHALL BE REMOVED AND THE BASIN OUTFALL STRUCTURES SHALL BE CONSTRUCTED AND THE GRADING RESTORED IN ACCORDANCE WITH THE PLANS.

CONTRACTOR CERTIFICATION

I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND THE TERMS AND CONDITIONS OF THE GENERAL NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT (ILRI0) THAT AUTHORIZES THE STORM WATER DISCHARGES ASSOCIATED WITH INDUSTRIAL ACTIVITY FROM THE CONSTRUCTION SITE IDENTIFIED AS PART OF THIS CERTIFICATION.

PROJECT: 800 NORTHGATE PARKWAY

PERMIT #: ILRI0 DATE: _____

CONTRACTOR SIGNATURE: _____ TELEPHONE NUMBER: _____

PRINTED NAME & TITLE: _____

NAME OF CONTRACTING FIRM: _____

STREET ADDRESS: _____

CITY, STATE, ZIP CODE: _____

TRADE/ RESPONSIBILITIES: _____

NOTE: ALL CONTRACTORS PERFORMING WORK ON THIS SITE ARE REQUIRED TO SIGN A CONTRACTOR CERTIFICATION STATEMENT AS ILLUSTRATED ABOVE. THE SIGNED STATEMENTS WILL BE MAINTAINED ON THE SITE WITH THE SWPPP.

OWNER SWPPP CERTIFICATION

PROJECT: 800 NORTHGATE PARKWAY

PERMIT #: ILRI0

I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED, BASED ON MY KNOWLEDGE OF THE PERSON OR PERSONS WHO MANAGED THE SYSTEM, OR THOSE PERSONS DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS.

STATIONER OF OWNER: _____ DATE: _____

PRINTED NAME OF OWNER: _____

NOTE: THIS CERTIFICATION ILLUSTRATED ABOVE SHALL BE SIGNED BY THE OWNER LISTED ON THE NOTICE OF INTENT IN ACCORDANCE WITH PART VI.G. OF THE ILRI0 NPDES PERMIT. THE SIGNED STATEMENT SHALL BE MAINTAINED ON THE SITE WITH THE SWPPP.

| OUTFALL NAME OR NUMBER | INLET PIPE SIZE d (IN) | VELOCITY (F/S) | LENGTH OF APRON L (FT) | RIPRAP GRADATION | WIDTH OF APRON U/S FACE 3d (FT) | WIDTH OF APRON D/S FACE 3d+L (FT) | DEPTH OF RIPRAP Y (IN) |
|------------------------|------------------------|----------------|------------------------|------------------|---------------------------------|-----------------------------------|------------------------|
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| NO. | DATE | REMARKS |
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SOIL EROSION AND SEDIMENT CONTROL PLAN - 1

800 NORTHGATE PARKWAY
WHEELING, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065

SPACECO INC.

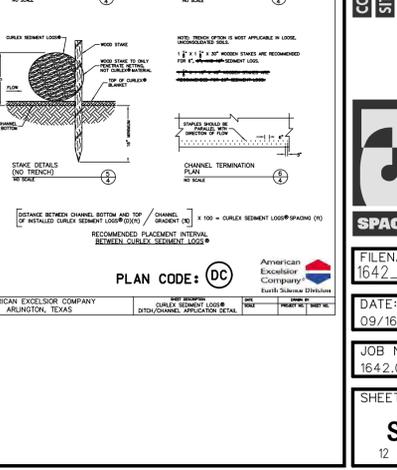
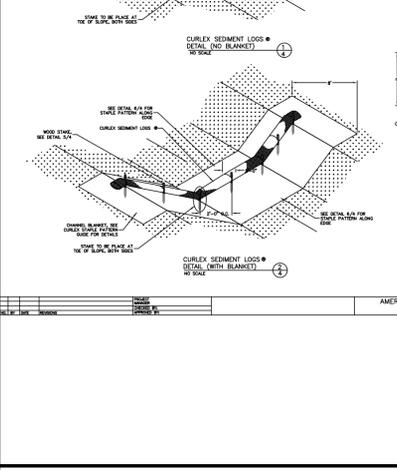
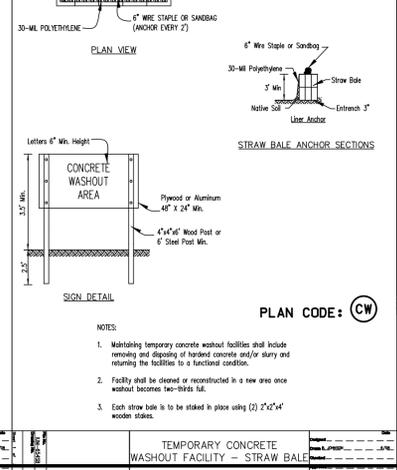
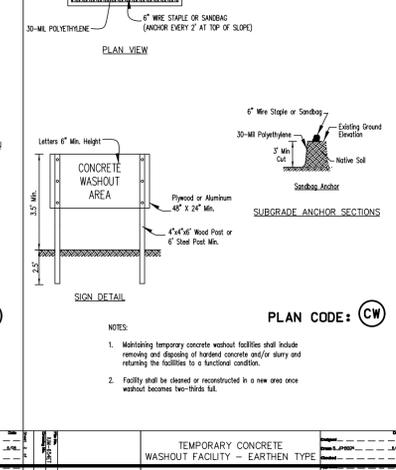
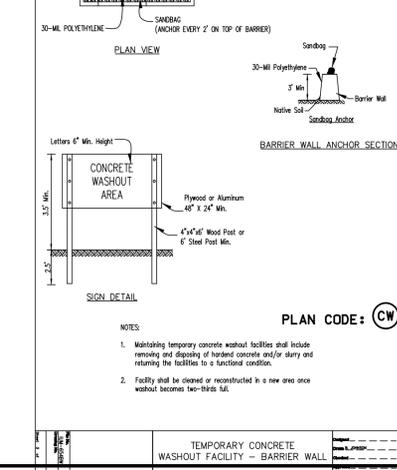
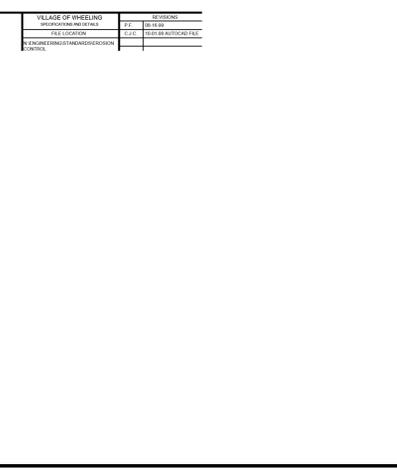
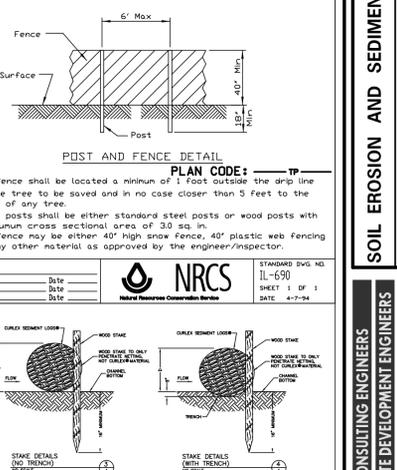
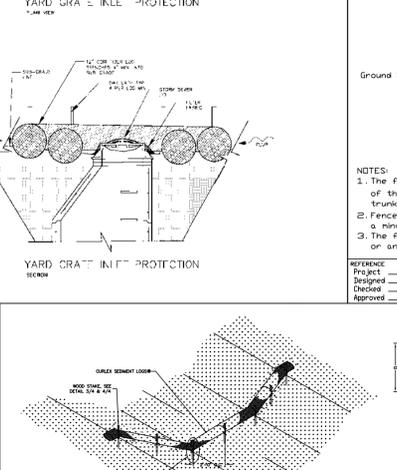
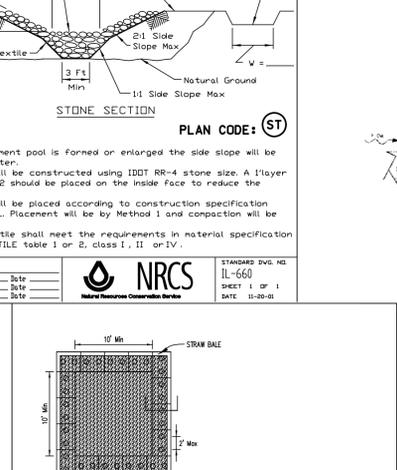
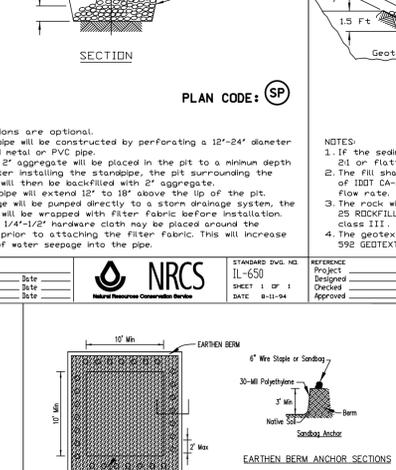
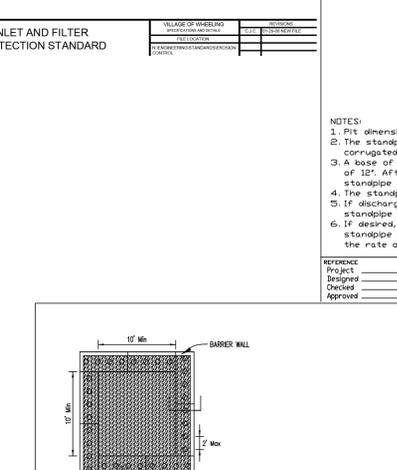
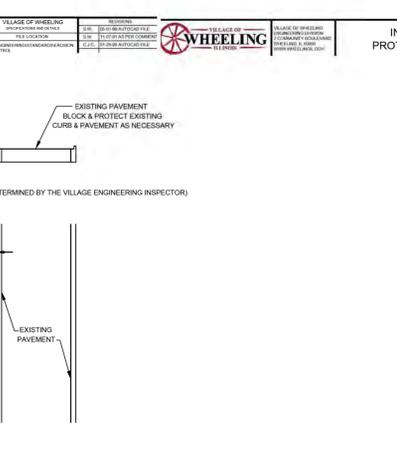
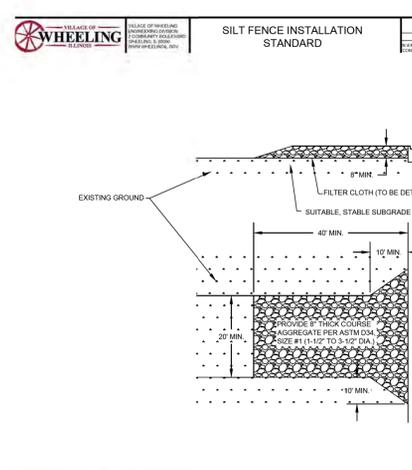
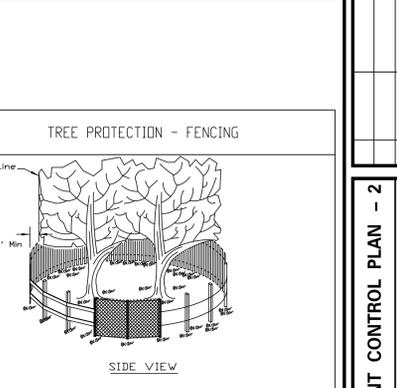
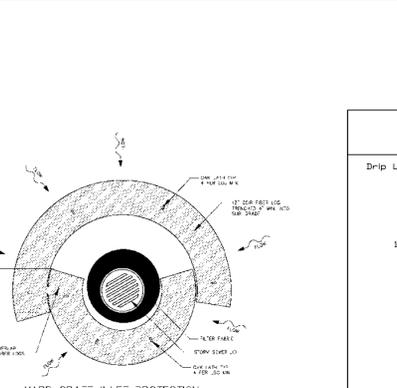
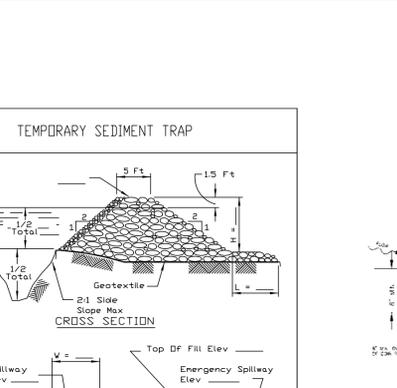
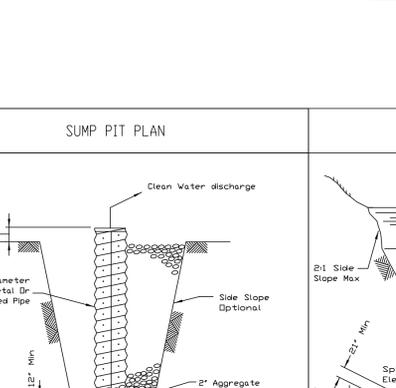
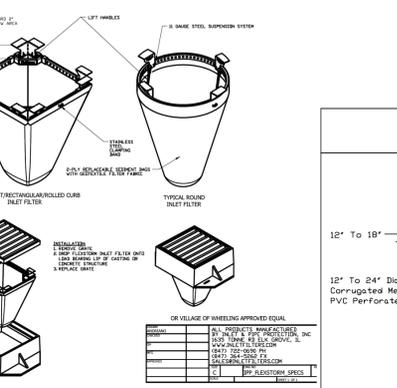
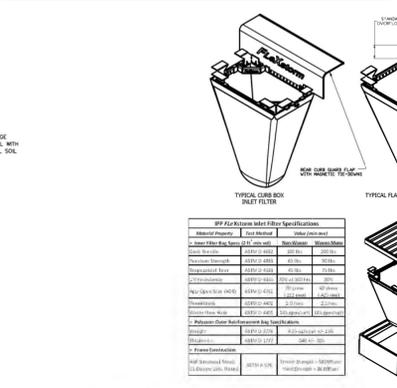
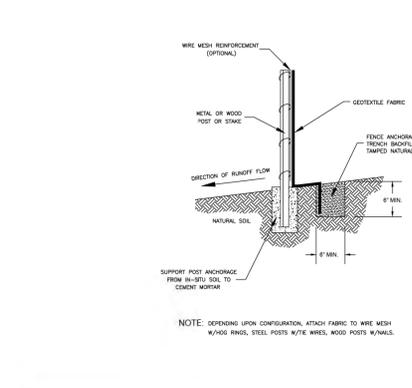
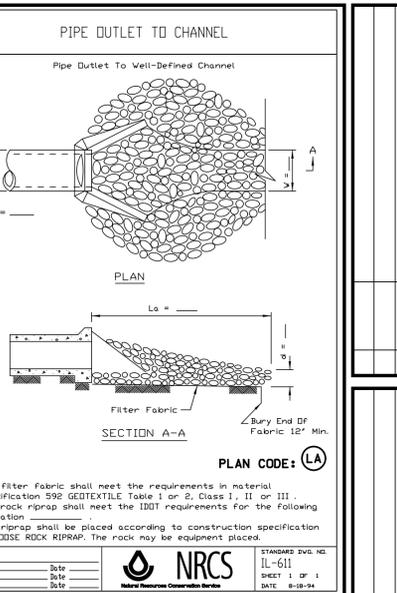
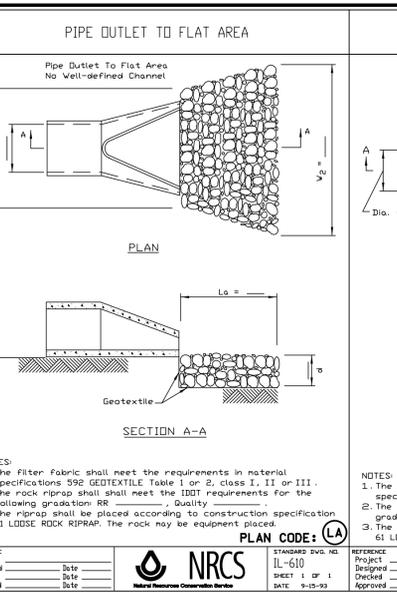
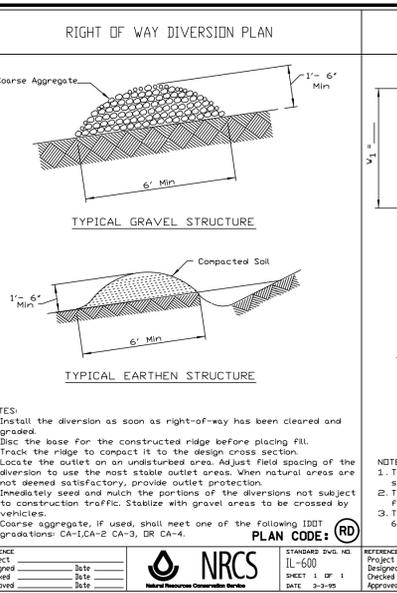
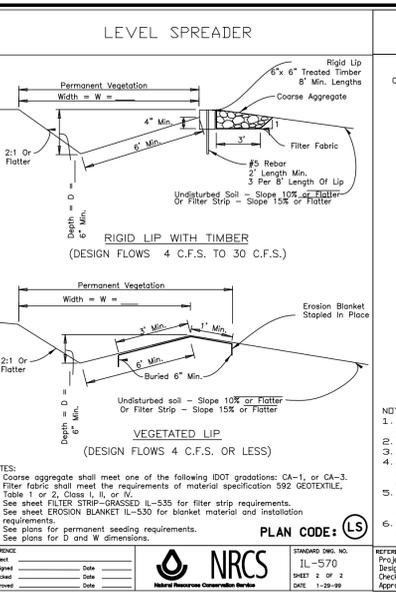
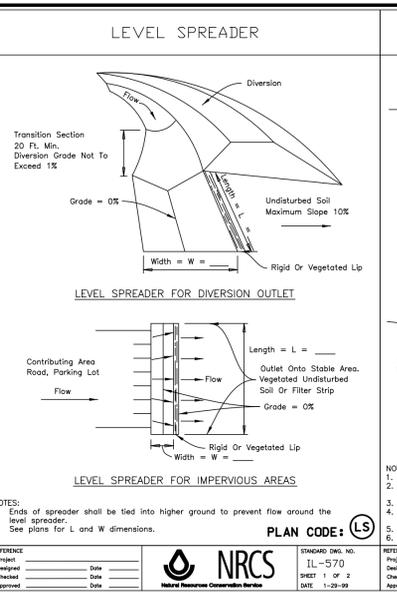
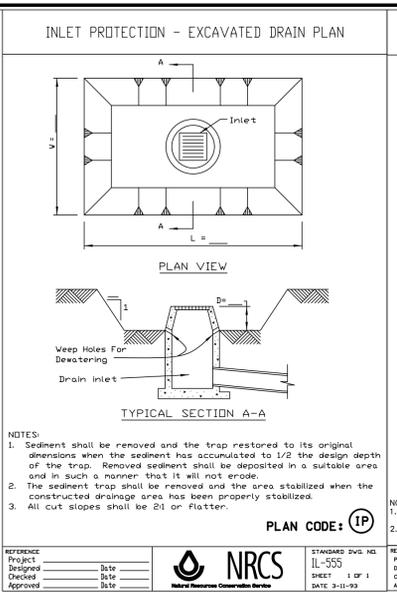
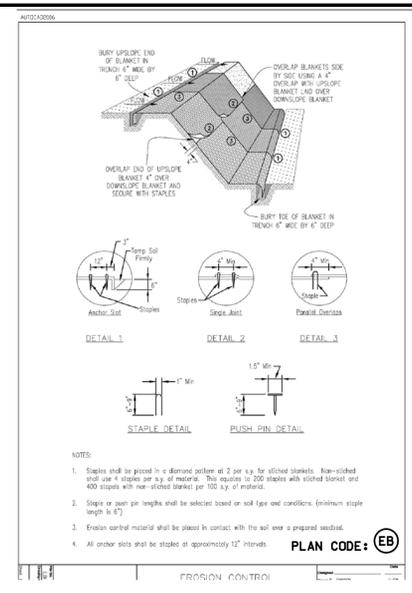
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DATE:
09/16/2016

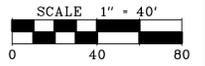
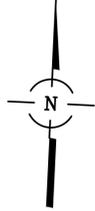
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1642.04

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SE1

11 OF 22

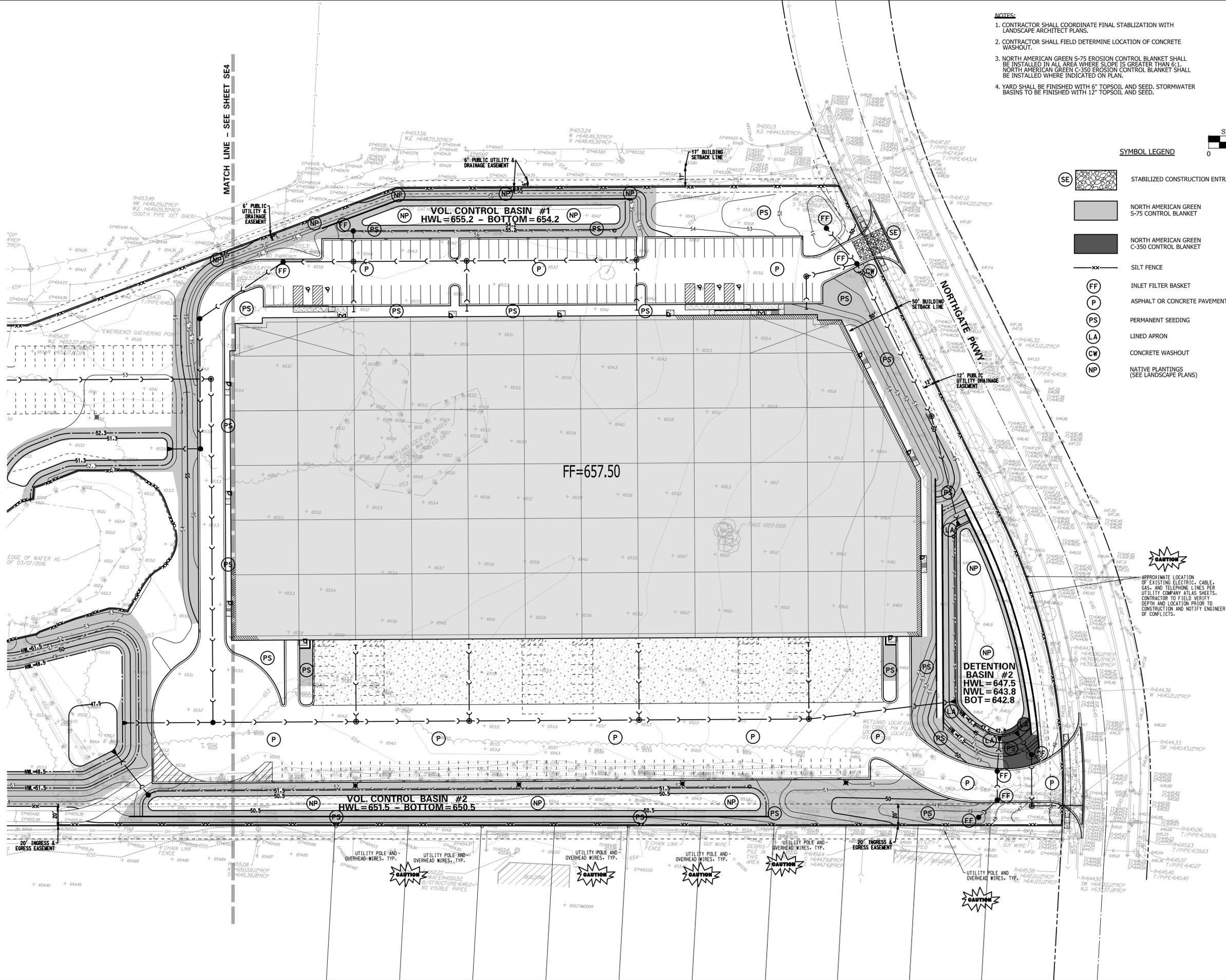


- NOTES:**
- CONTRACTOR SHALL COORDINATE FINAL STABILIZATION WITH LANDSCAPE ARCHITECT PLANS.
 - CONTRACTOR SHALL FIELD DETERMINE LOCATION OF CONCRETE WASHOUT.
 - NORTH AMERICAN GREEN S-75 EROSION CONTROL BLANKET SHALL BE INSTALLED IN ALL AREA WHERE SLOPE IS GREATER THAN 6:1. NORTH AMERICAN GREEN C-350 EROSION CONTROL BLANKET SHALL BE INSTALLED WHERE INDICATED ON PLAN.
 - YARD SHALL BE FINISHED WITH 6" TOPSOIL AND SEED. STORMWATER BASINS TO BE FINISHED WITH 12" TOPSOIL AND SEED.



SYMBOL LEGEND

- STABILIZED CONSTRUCTION ENTRANCE
- NORTH AMERICAN GREEN S-75 CONTROL BLANKET
- NORTH AMERICAN GREEN C-350 CONTROL BLANKET
- SILT FENCE
- INLET FILTER BASKET
- ASPHALT OR CONCRETE PAVEMENT
- PERMANENT SEEDING
- LINED APRON
- CONCRETE WASHOUT
- NATIVE PLANTINGS (SEE LANDSCAPE PLANS)



CAUTION
APPROXIMATE LOCATION OF EXISTING ELECTRIC, CABLE, GAS, AND TELEPHONE LINES PER UTILITY COMPANY ATLAS SHEETS. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF CONFLICTS.

CAUTION
UTILITY POLE AND OVERHEAD WIRES, TYP. AT EP=65052. CONTRACTURE=6482V. NO VISIBLE PIPES.

CAUTION
UTILITY POLE AND OVERHEAD WIRES, TYP.

SOIL EROSION AND SEDIMENT CONTROL PLAN - 3
800 NORTHGATE PARKWAY
WHEELING, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065



SPACECO INC.

FILENAME:
1642_04_SE03

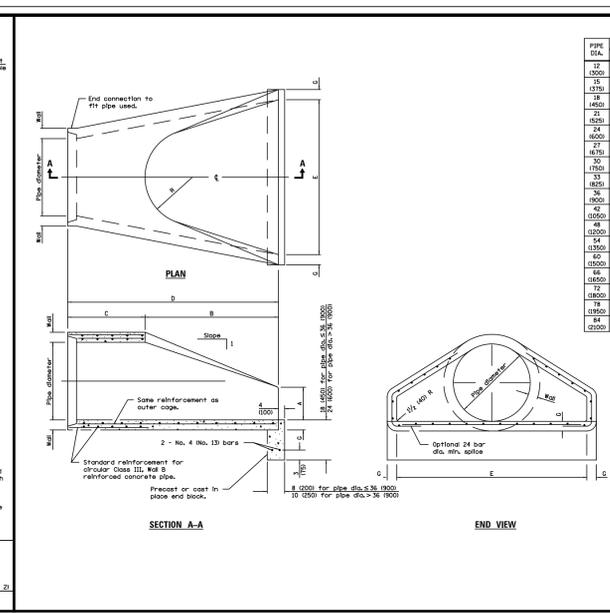
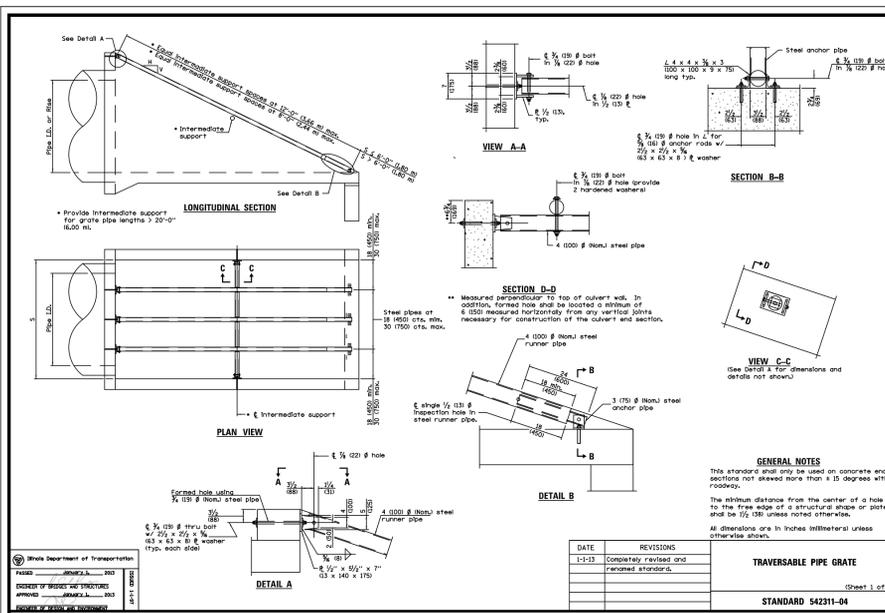
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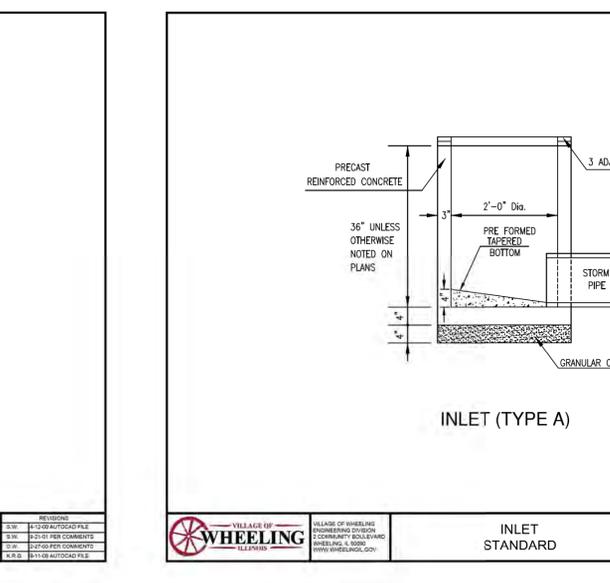
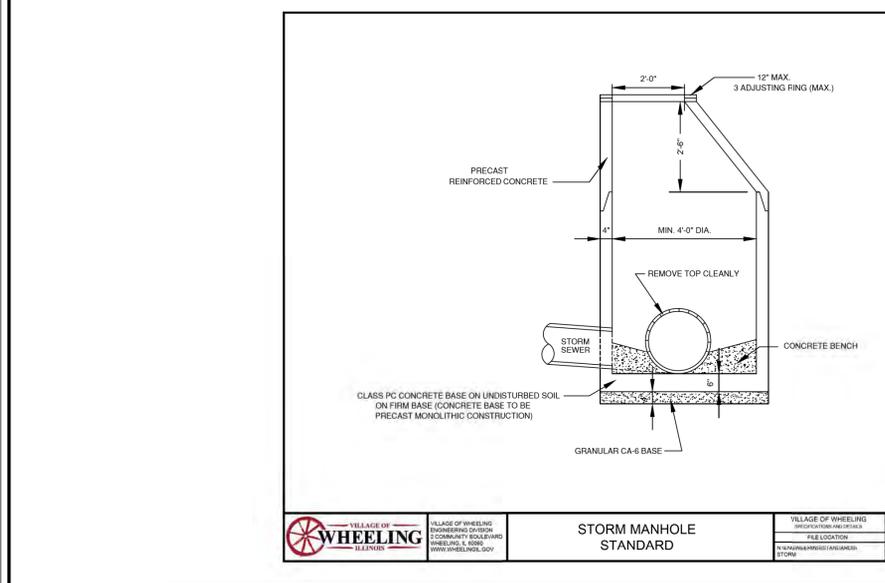
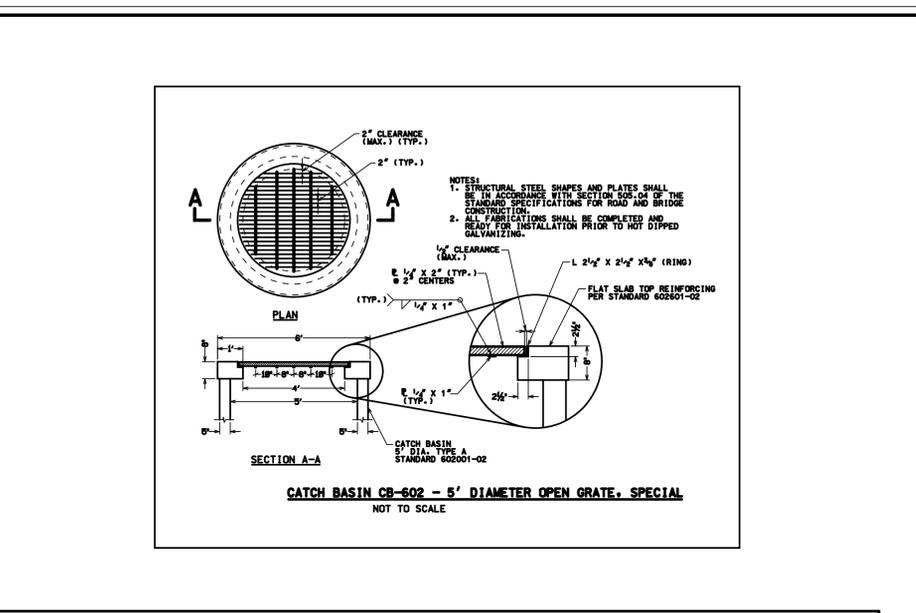
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SE3

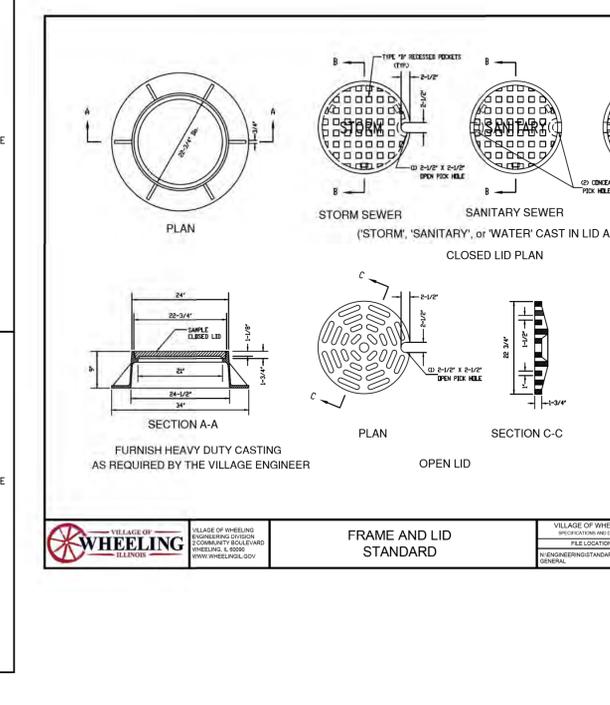
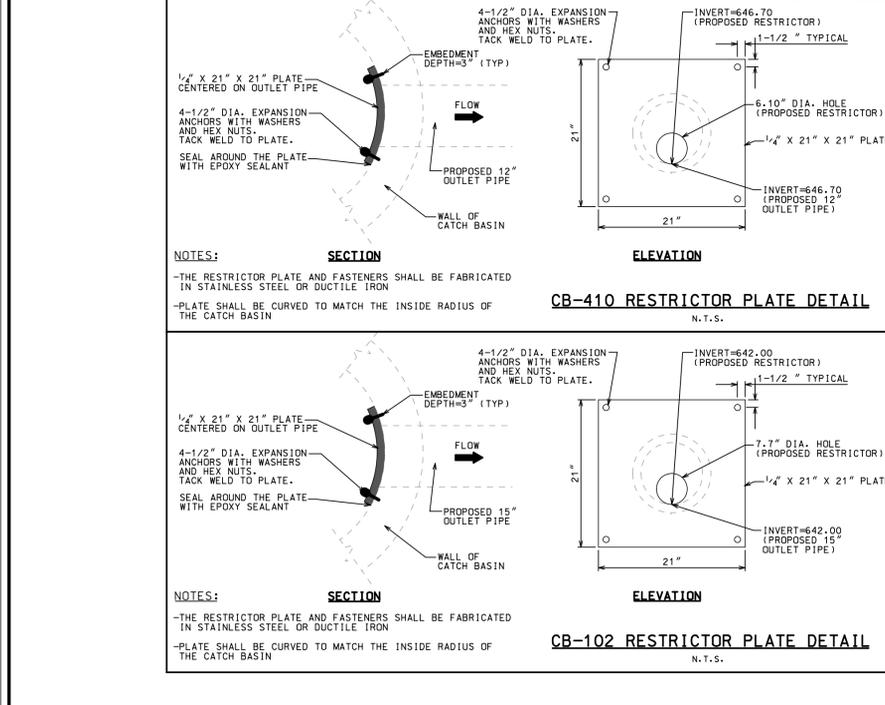
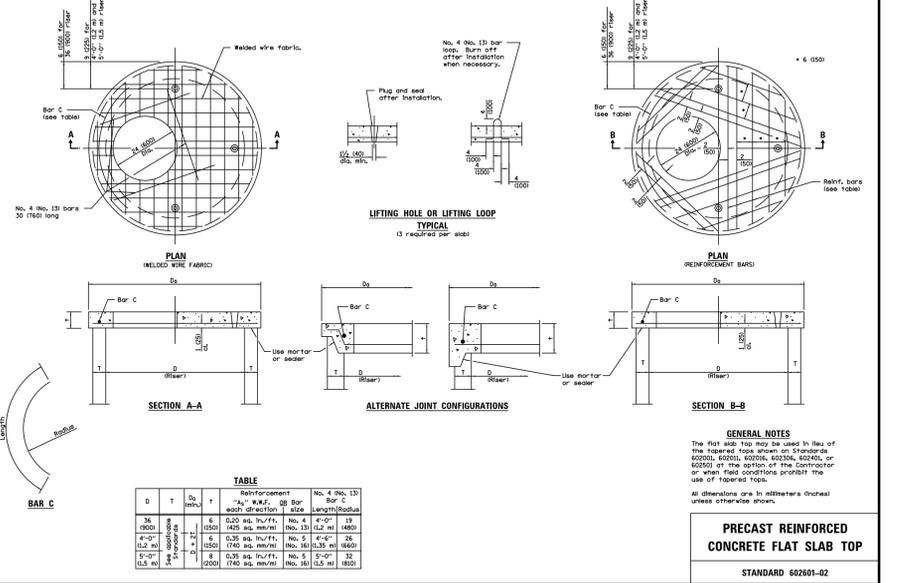
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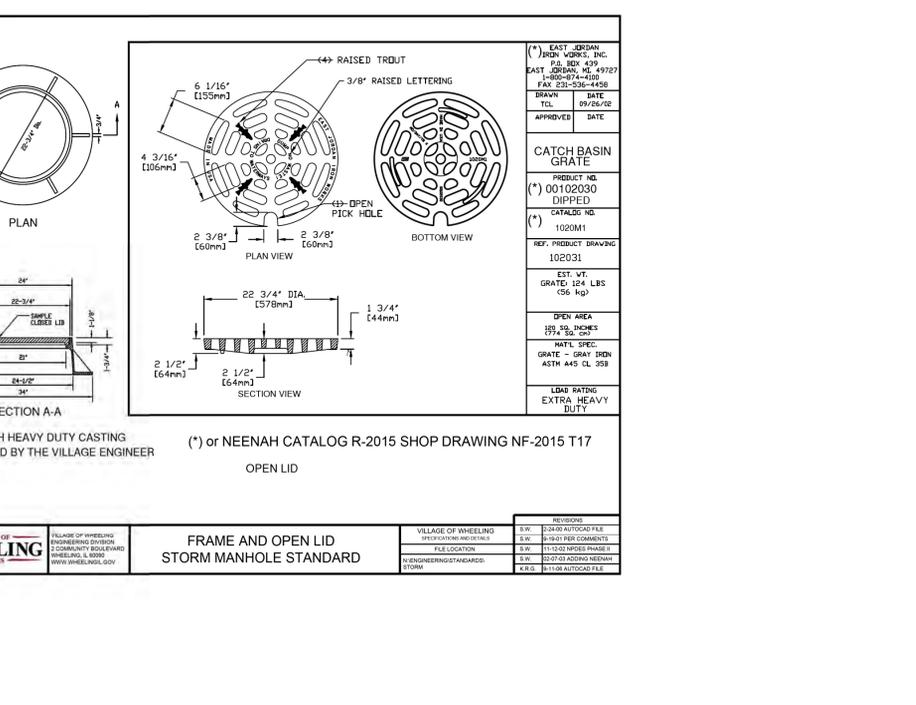
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|-----------|-------------------|--------|------|------|------|------|------|------|------|---------------|
| 12 | 530 | 2 | 100 | 100 | 100 | 100 | 100 | 100 | 100 | 1:4 |
| 15 | 740 | 2 1/2 | 125 | 125 | 125 | 125 | 125 | 125 | 125 | 1:4 |
| 18 | 990 | 3 | 150 | 150 | 150 | 150 | 150 | 150 | 150 | 1:4 |
| 24 | 1320 | 3 1/2 | 200 | 200 | 200 | 200 | 200 | 200 | 200 | 1:4 |
| 30 | 1650 | 4 | 250 | 250 | 250 | 250 | 250 | 250 | 250 | 1:4 |
| 36 | 1980 | 4 1/2 | 300 | 300 | 300 | 300 | 300 | 300 | 300 | 1:4 |
| 42 | 2310 | 5 | 350 | 350 | 350 | 350 | 350 | 350 | 350 | 1:4 |
| 48 | 2640 | 5 1/2 | 400 | 400 | 400 | 400 | 400 | 400 | 400 | 1:4 |
| 54 | 2970 | 6 | 450 | 450 | 450 | 450 | 450 | 450 | 450 | 1:4 |
| 60 | 3300 | 6 1/2 | 500 | 500 | 500 | 500 | 500 | 500 | 500 | 1:4 |
| 66 | 3630 | 7 | 550 | 550 | 550 | 550 | 550 | 550 | 550 | 1:4 |
| 72 | 3960 | 7 1/2 | 600 | 600 | 600 | 600 | 600 | 600 | 600 | 1:4 |
| 78 | 4290 | 8 | 650 | 650 | 650 | 650 | 650 | 650 | 650 | 1:4 |
| 84 | 4620 | 8 1/2 | 700 | 700 | 700 | 700 | 700 | 700 | 700 | 1:4 |
| 90 | 4950 | 9 | 750 | 750 | 750 | 750 | 750 | 750 | 750 | 1:4 |
| 96 | 5280 | 9 1/2 | 800 | 800 | 800 | 800 | 800 | 800 | 800 | 1:4 |
| 102 | 5610 | 10 | 850 | 850 | 850 | 850 | 850 | 850 | 850 | 1:4 |
| 108 | 5940 | 10 1/2 | 900 | 900 | 900 | 900 | 900 | 900 | 900 | 1:4 |
| 114 | 6270 | 11 | 950 | 950 | 950 | 950 | 950 | 950 | 950 | 1:4 |
| 120 | 6600 | 11 1/2 | 1000 | 1000 | 1000 | 1000 | 1000 | 1000 | 1000 | 1:4 |



| D | T | D ₁ | T ₁ | D ₂ | T ₂ | D ₃ | T ₃ | D ₄ | T ₄ | D ₅ | T ₅ |
|-----|------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| 36 | 1900 | 4 | 100 | 4 | 100 | 4 | 100 | 4 | 100 | 4 | 100 |
| 42 | 2200 | 5 | 125 | 5 | 125 | 5 | 125 | 5 | 125 | 5 | 125 |
| 48 | 2500 | 6 | 150 | 6 | 150 | 6 | 150 | 6 | 150 | 6 | 150 |
| 54 | 2800 | 7 | 175 | 7 | 175 | 7 | 175 | 7 | 175 | 7 | 175 |
| 60 | 3100 | 8 | 200 | 8 | 200 | 8 | 200 | 8 | 200 | 8 | 200 |
| 66 | 3400 | 9 | 225 | 9 | 225 | 9 | 225 | 9 | 225 | 9 | 225 |
| 72 | 3700 | 10 | 250 | 10 | 250 | 10 | 250 | 10 | 250 | 10 | 250 |
| 78 | 4000 | 11 | 275 | 11 | 275 | 11 | 275 | 11 | 275 | 11 | 275 |
| 84 | 4300 | 12 | 300 | 12 | 300 | 12 | 300 | 12 | 300 | 12 | 300 |
| 90 | 4600 | 13 | 325 | 13 | 325 | 13 | 325 | 13 | 325 | 13 | 325 |
| 96 | 4900 | 14 | 350 | 14 | 350 | 14 | 350 | 14 | 350 | 14 | 350 |
| 102 | 5200 | 15 | 375 | 15 | 375 | 15 | 375 | 15 | 375 | 15 | 375 |
| 108 | 5500 | 16 | 400 | 16 | 400 | 16 | 400 | 16 | 400 | 16 | 400 |
| 114 | 5800 | 17 | 425 | 17 | 425 | 17 | 425 | 17 | 425 | 17 | 425 |
| 120 | 6100 | 18 | 450 | 18 | 450 | 18 | 450 | 18 | 450 | 18 | 450 |



| D | T | D ₁ | T ₁ | D ₂ | T ₂ | D ₃ | T ₃ | D ₄ | T ₄ | D ₅ | T ₅ |
|-----|------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|----------------|
| 36 | 1900 | 4 | 100 | 4 | 100 | 4 | 100 | 4 | 100 | 4 | 100 |
| 42 | 2200 | 5 | 125 | 5 | 125 | 5 | 125 | 5 | 125 | 5 | 125 |
| 48 | 2500 | 6 | 150 | 6 | 150 | 6 | 150 | 6 | 150 | 6 | 150 |
| 54 | 2800 | 7 | 175 | 7 | 175 | 7 | 175 | 7 | 175 | 7 | 175 |
| 60 | 3100 | 8 | 200 | 8 | 200 | 8 | 200 | 8 | 200 | 8 | 200 |
| 66 | 3400 | 9 | 225 | 9 | 225 | 9 | 225 | 9 | 225 | 9 | 225 |
| 72 | 3700 | 10 | 250 | 10 | 250 | 10 | 250 | 10 | 250 | 10 | 250 |
| 78 | 4000 | 11 | 275 | 11 | 275 | 11 | 275 | 11 | 275 | 11 | 275 |
| 84 | 4300 | 12 | 300 | 12 | 300 | 12 | 300 | 12 | 300 | 12 | 300 |
| 90 | 4600 | 13 | 325 | 13 | 325 | 13 | 325 | 13 | 325 | 13 | 325 |
| 96 | 4900 | 14 | 350 | 14 | 350 | 14 | 350 | 14 | 350 | 14 | 350 |
| 102 | 5200 | 15 | 375 | 15 | 375 | 15 | 375 | 15 | 375 | 15 | 375 |
| 108 | 5500 | 16 | 400 | 16 | 400 | 16 | 400 | 16 | 400 | 16 | 400 |
| 114 | 5800 | 17 | 425 | 17 | 425 | 17 | 425 | 17 | 425 | 17 | 425 |
| 120 | 6100 | 18 | 450 | 18 | 450 | 18 | 450 | 18 | 450 | 18 | 450 |



DETAILS - 1

800 NORTHGATE PARKWAY
WHEELING, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065

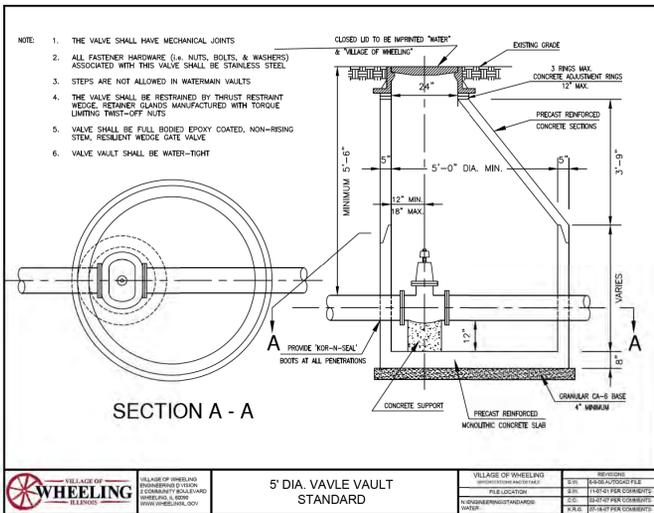
SPACECO INC.

FILENAME: 1642_04_DET01

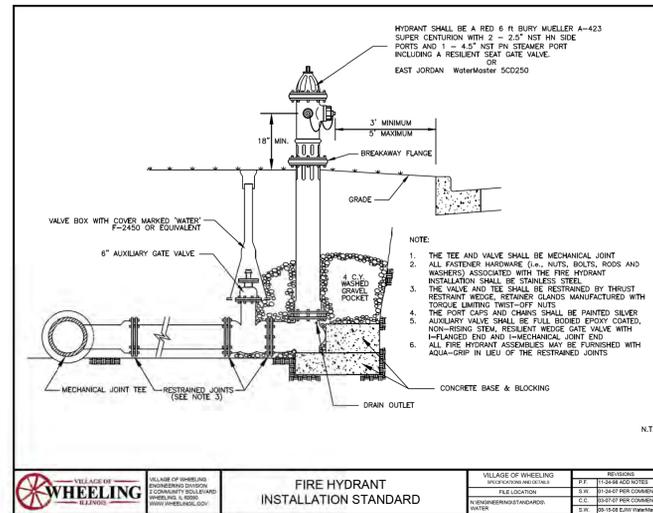
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JOB NO. 1642.04

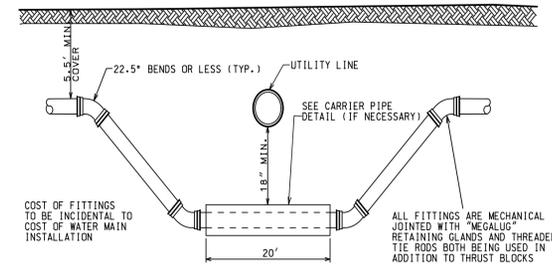
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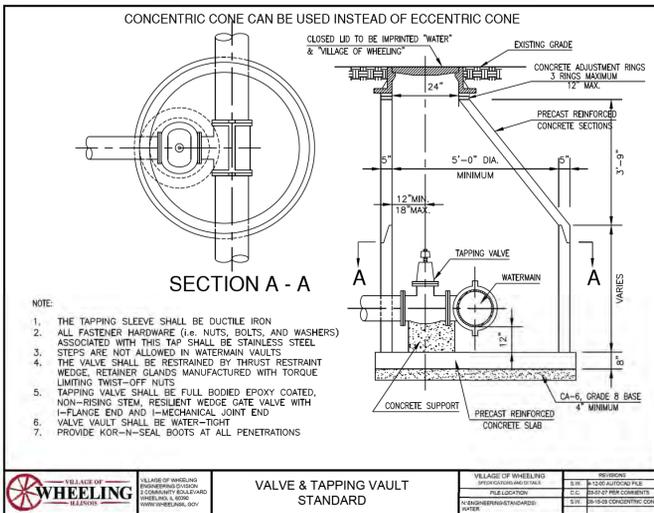
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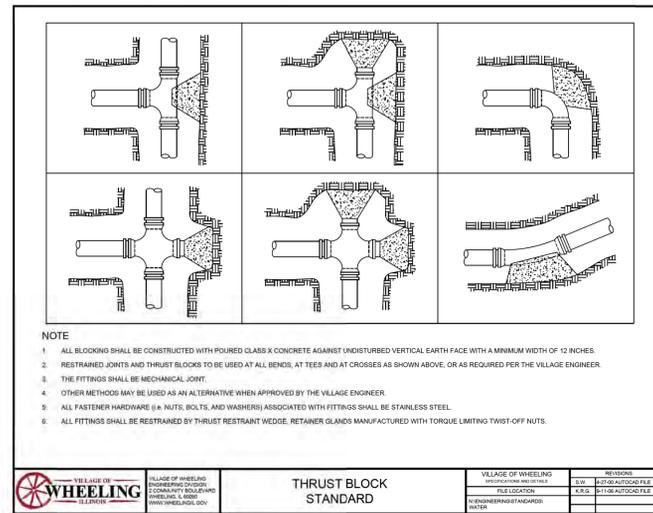
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| | | FILE LOCATION | | FILE LOCATION |



| | | | | |
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| VILLAGE OF WHEELING ILLINOIS | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | WATER MAIN OFF-SET DETAIL | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | REVISED |
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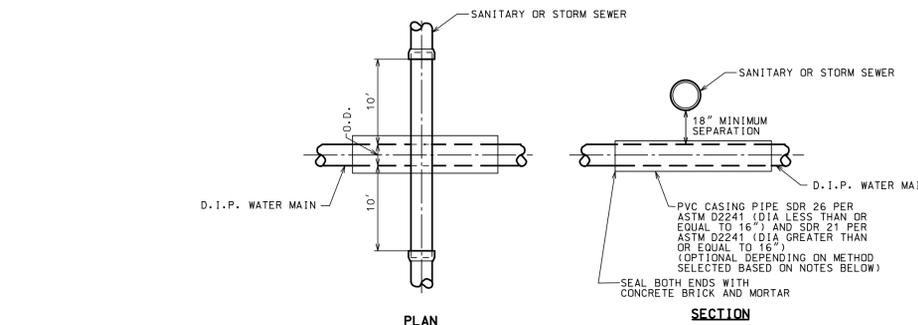


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| VILLAGE OF WHEELING ILLINOIS | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | VALVE & TAPPING VAULT STANDARD | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | REVISED |
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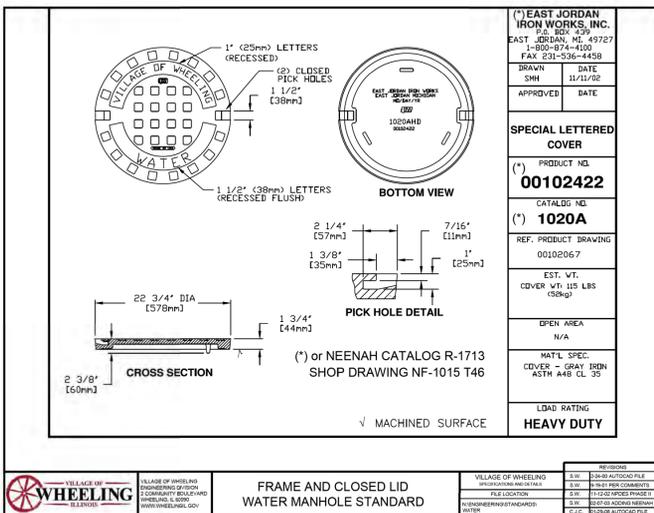
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| VILLAGE OF WHEELING ILLINOIS | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | THRUST BLOCK STANDARD | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | REVISED |
| | | FILE LOCATION | | FILE LOCATION |

WATER MAIN OFF-SET DETAIL
NOT TO SCALE



| | | | | |
|---------------------------------|---|--------------------------|---|---------------|
| VILLAGE OF WHEELING ILLINOIS | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | THRUST BLOCK STANDARD | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | REVISED |
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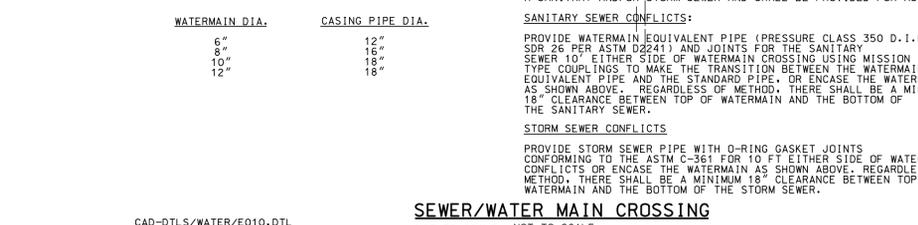
SANITARY/WATER MAIN CROSSING
NOT TO SCALE



| | | | | |
|---------------------------------|---|--|---|---------------|
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| VILLAGE OF WHEELING ILLINOIS | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | SPECIAL LETTERED COVER | VILLAGE OF WHEELING ENGINEERING DEPARTMENT ECONOMY BLDG. 400 P.O. BOX 1000 WHEELING, ILLINOIS 60090 WWW.VILLAGEOFWHEELING.IL.GOV | REVISED |
| | | FILE LOCATION | | FILE LOCATION |



SANITARY SEWER CONFLICTS
NOT TO SCALE

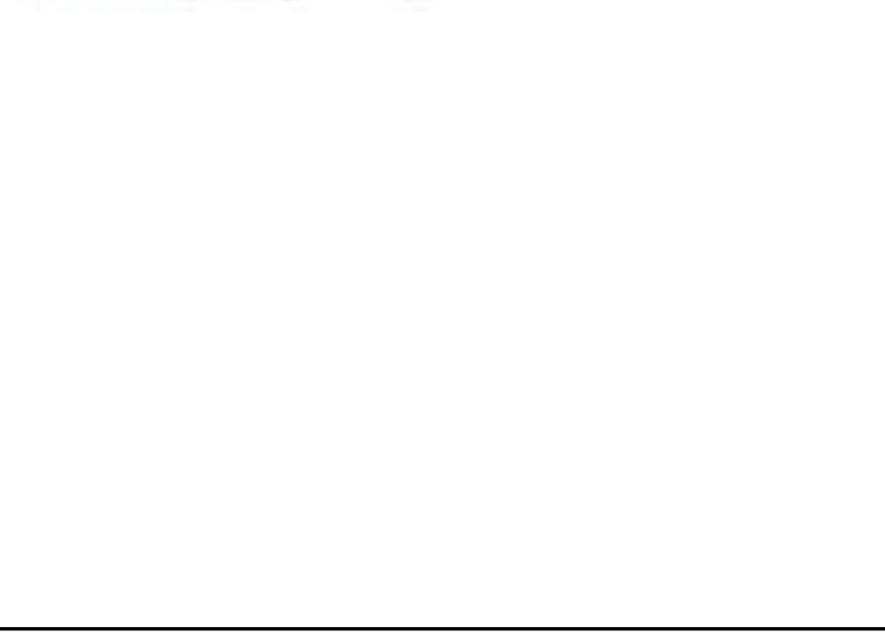
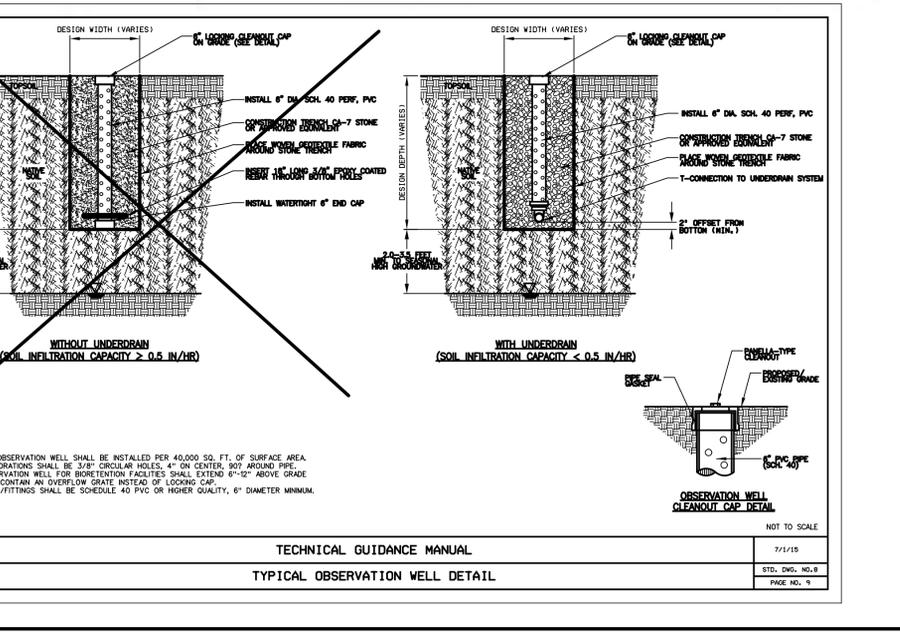
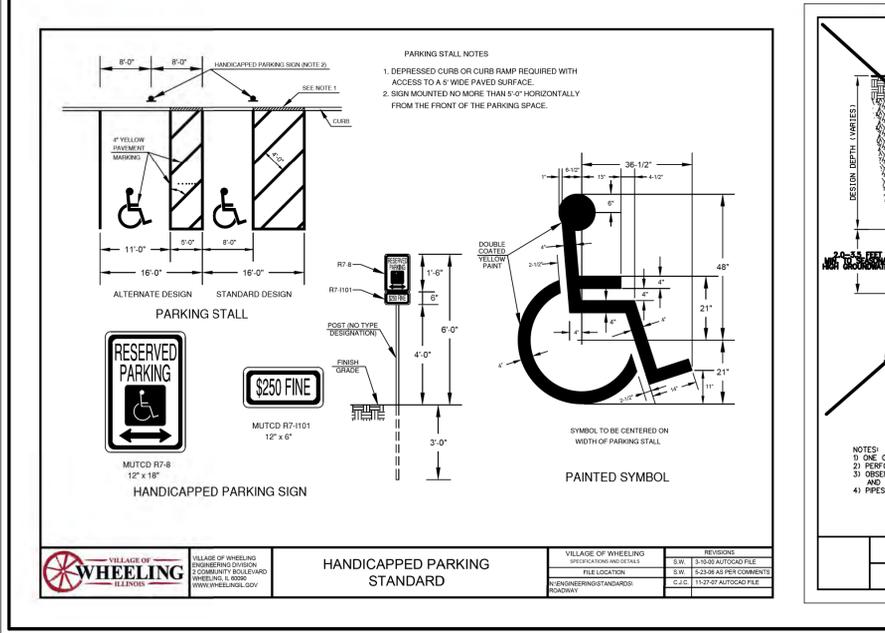
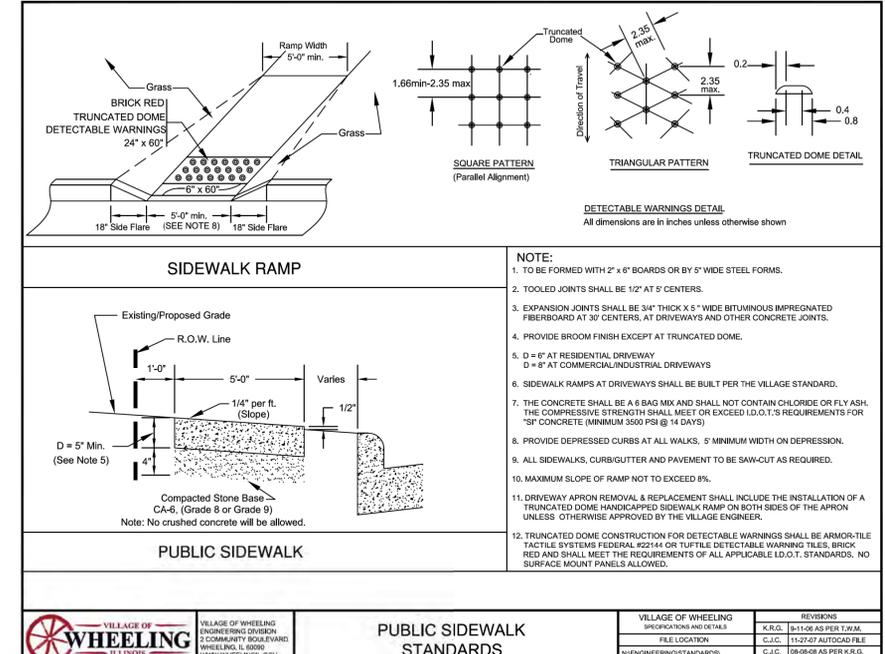
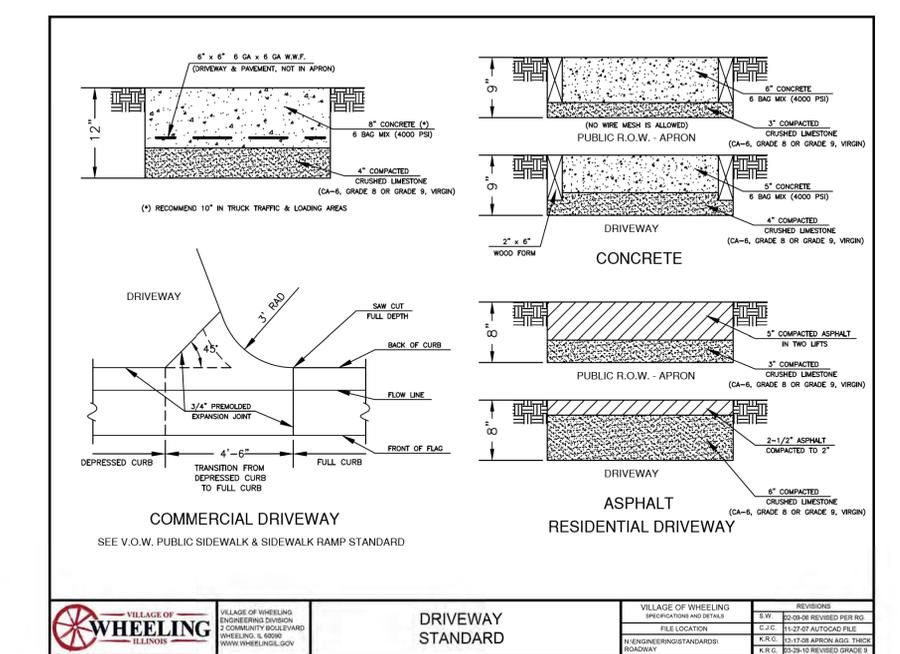
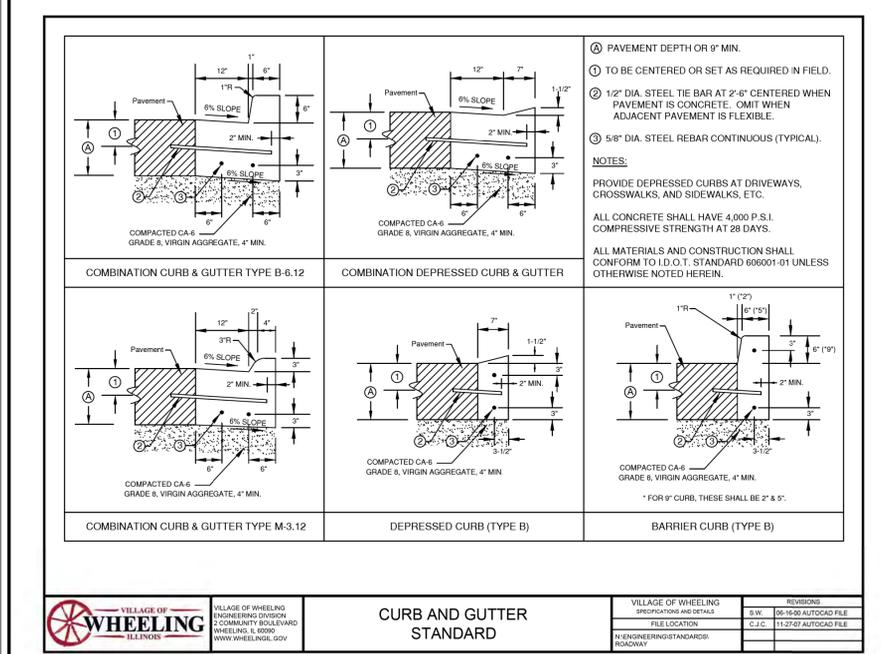
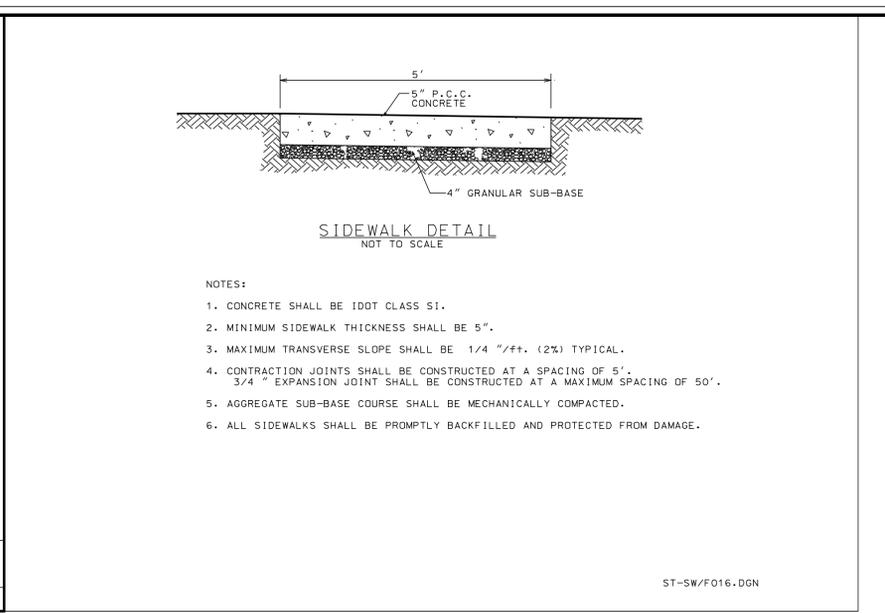
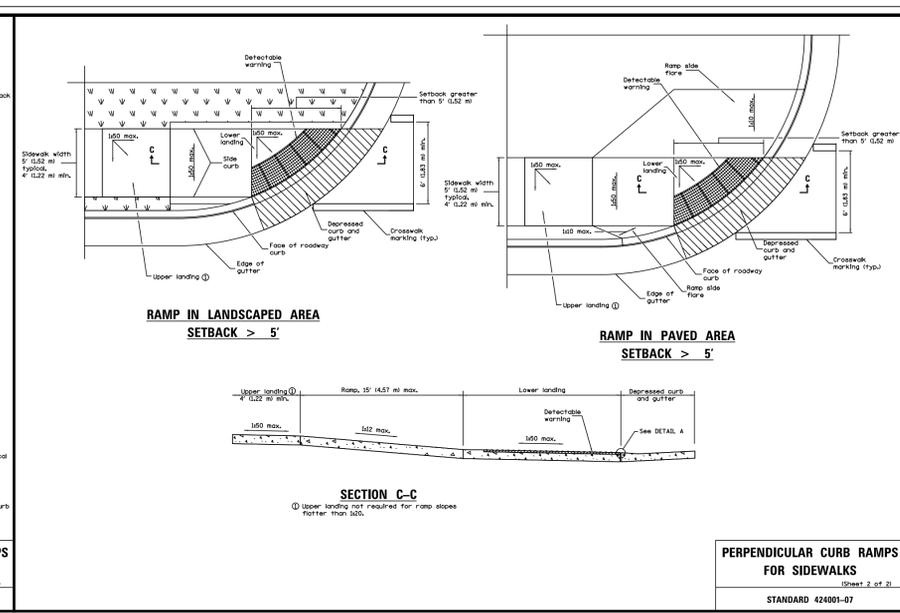
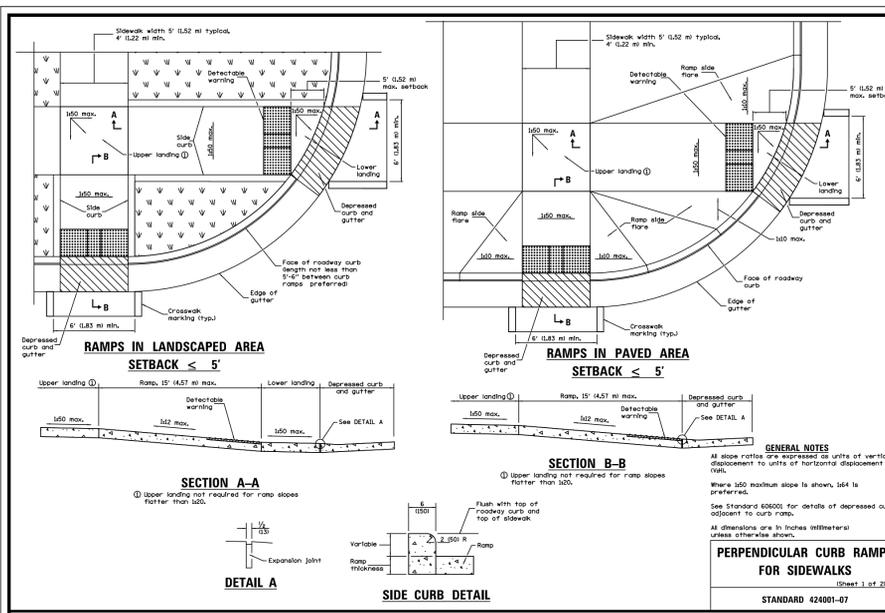
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| DETAILS - 2 | | |
| 800 NORTHGATE PARKWAY WHEELING, ILLINOIS | | |

| | |
|----------------------------|---|
| CONSULTING ENGINEERS | 9575 W. Higgins Road, Suite 700, Rosemont, Illinois 60018 Phone: (847) 676-4060 Fax: (847) 676-4065 |
| SITE DEVELOPMENT ENGINEERS | |
| LAND SURVEYORS | |

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| SPACECO INC. |
| FILENAME: 1642_04_DET02 |
| DATE: 09/16/2016 |
| JOB NO. 1642.04 |
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| 19 OF 22 |



CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065

SPACECO INC.

FILENAME:
1642_04_DET03

DATE:
09/16/2016

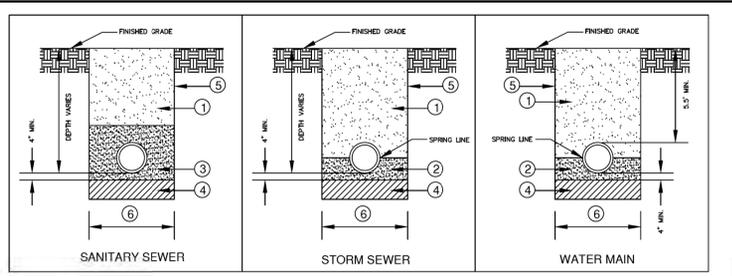
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20 OF 22

DETAILS - 3

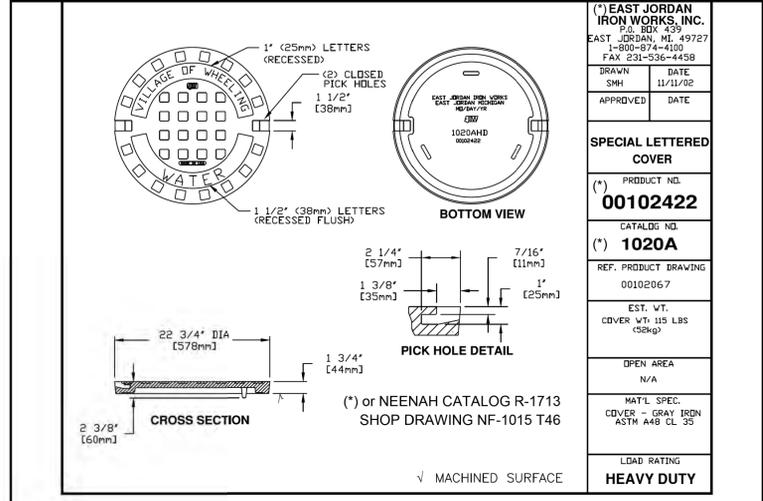
800 NORTHGATE PARKWAY
WHEELING, ILLINOIS

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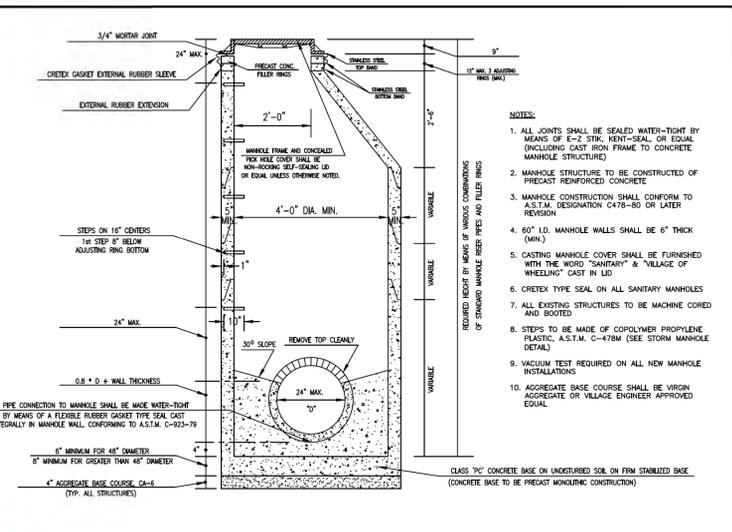
- NOTES:
- BACKFILL & COMPACT GRANULAR TRENCH BACKFILL (CA-6, GRADE 8 OR APPROVED EQUAL) UNDER STREET PAVEMENT, DRIVEWAYS, AND SIDEWALKS EXHAUSTED MATERIAL MAY BE USED IN NON-PAVED AREAS
 - CA-11 OR CA-13 STONE OR OTHER APPROVED SELECT BACKFILL TAMPED INTO PLACE TO SPRING LINE OF PIPE
 - CA-11 OR CA-13 STONE OR OTHER APPROVED SELECT BACKFILL TAMPED TO 12" MINIMUM ABOVE TOP OF PIPE
 - IF ENCOUNTERED, REMOVE UNSUITABLE MATERIALS AND REPLACE WITH 4" STONE AS DIRECTED BY THE TESTING AGENCY OR THE VILLAGE ENGINEER
 - TRENCH SIDES TO BE SLOPED OR SHEETED/SHORED IN ACCORDANCE WITH OSHA REQUIREMENTS
 - MAXIMUM TRENCH WIDTH = 18" (1'-0") + O.D. WHEN TRENCH < 5 FEET
= 36" (3'-0") + O.D. WHEN TRENCH > 5 FEET

| | | | |
|--|---|---|---|
| | VILLAGE OF WHEELING ENGINEERING DIVISION 1111 WHEELING WHEELING, ILLINOIS 60090 WWW.WHEELING.IL.GOV | TRENCH BACKFILL STANDARD | |
| | | VILLAGE OF WHEELING SPECIFICATIONS AND DETAILS FILE LOCATION N:ENGINEERINGSTANDARDS GENERAL | REVISIONS S.W. 11-20-08 AUTOCAD FILE S.W. 08-09-09 PER COMMENTS S.W. 11-19-04 NO POLY DRAP S.W. 11-20-08 AUTOCAD FILE |



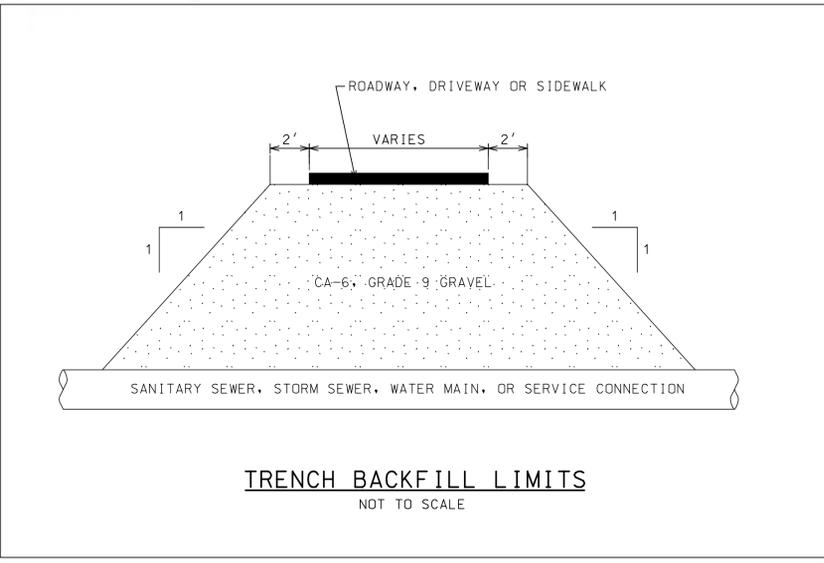
| | |
|--|------------------|
| (*) EAST JORDAN IRON WORKS, INC. P.O. BOX 439 EAST JORDAN, ILL. 49727 1-800-874-4100 FAX 231-536-4458 | |
| DRAWN SMH | DATE 11/11/08 |
| APPROVED | DATE |
| SPECIAL LETTERED COVER | |
| (*) PRODUCT NO. 00102422 | |
| CATALOG NO. (*) 1020A | |
| REF. PRODUCT DRAWING 00102067 | |
| EST. WT. COVER WT: 115 LBS (52kg) | |
| OPEN AREA N/A | |
| MAT'L SPEC. COVER - GRAY IRON ASTM A48 CL 35 | |
| LOAD RATING HEAVY DUTY | |

| | | | |
|--|---|---|---|
| | VILLAGE OF WHEELING ENGINEERING DIVISION 1111 WHEELING WHEELING, ILLINOIS 60090 WWW.WHEELING.IL.GOV | FRAME AND CLOSED LID WATER MANHOLE STANDARD | |
| | | VILLAGE OF WHEELING SPECIFICATIONS AND DETAILS FILE LOCATION N:ENGINEERINGSTANDARDS WATER | REVISIONS S.W. 11-20-08 AUTOCAD FILE S.W. 08-09-09 PER COMMENTS S.W. 11-19-04 NO POLY DRAP S.W. 11-20-08 AUTOCAD FILE |



- NOTES:
- ALL JOINTS SHALL BE SEALED WATER-TIGHT BY MEANS OF 2-2 STRIK, KENT-SEAL, OR EQUAL (INCLUDING CAST IRON FRAME TO CONCRETE MANHOLE STRUCTURE)
 - MANHOLE STRUCTURE TO BE CONSTRUCTED OF PRECAST REINFORCED CONCRETE
 - MANHOLE CONSTRUCTION SHALL CONFORM TO A.S.T.M. DESIGNATION C478-80 OR LATER REVISION
 - 60" I.D. MANHOLE WALLS SHALL BE 6" THICK (MIN.)
 - CASTING MANHOLE COVER SHALL BE FURNISHED WITH THE WORD "SANITARY" & "VILLAGE OF WHEELING" CAST IN LID
 - ALL EXISTING STRUCTURES TO BE MACHINE CORED AND ROUTED
 - CRETEX TYPE SEAL ON ALL SANITARY MANHOLES
 - STEPS TO BE MADE OF COPOLYMER PROPYLENE PLASTIC, A.S.T.M. C-478M (SEE STORM MANHOLE DETAIL)
 - VACUUM TEST REQUIRED ON ALL NEW MANHOLE INSTALLATIONS
 - AGGREGATE BASE COURSE SHALL BE VIRGIN AGGREGATE OR VILLAGE ENGINEER APPROVED EQUAL

| | | | |
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| | VILLAGE OF WHEELING ENGINEERING DIVISION 1111 WHEELING WHEELING, ILLINOIS 60090 WWW.WHEELING.IL.GOV | SANITARY MANHOLE STANDARD | |
| | | VILLAGE OF WHEELING SPECIFICATIONS AND DETAILS FILE LOCATION N:ENGINEERINGSTANDARDS SANITARY | REVISIONS S.W. 03-09-09 AUTOCAD FILE S.W. 02-02-09 PER COMMENTS S.W. 06-18-08 AS PER COMMENTS S.W. 11-27-07 AUTOCAD FILE |



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DETAILS - 4

800 NORTHGATE PARKWAY
WHEELING, ILLINOIS

CONSULTING ENGINEERS
 SITE DEVELOPMENT ENGINEERS
 LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 676-4060 Fax: (847) 676-4065

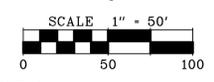
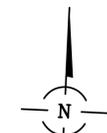


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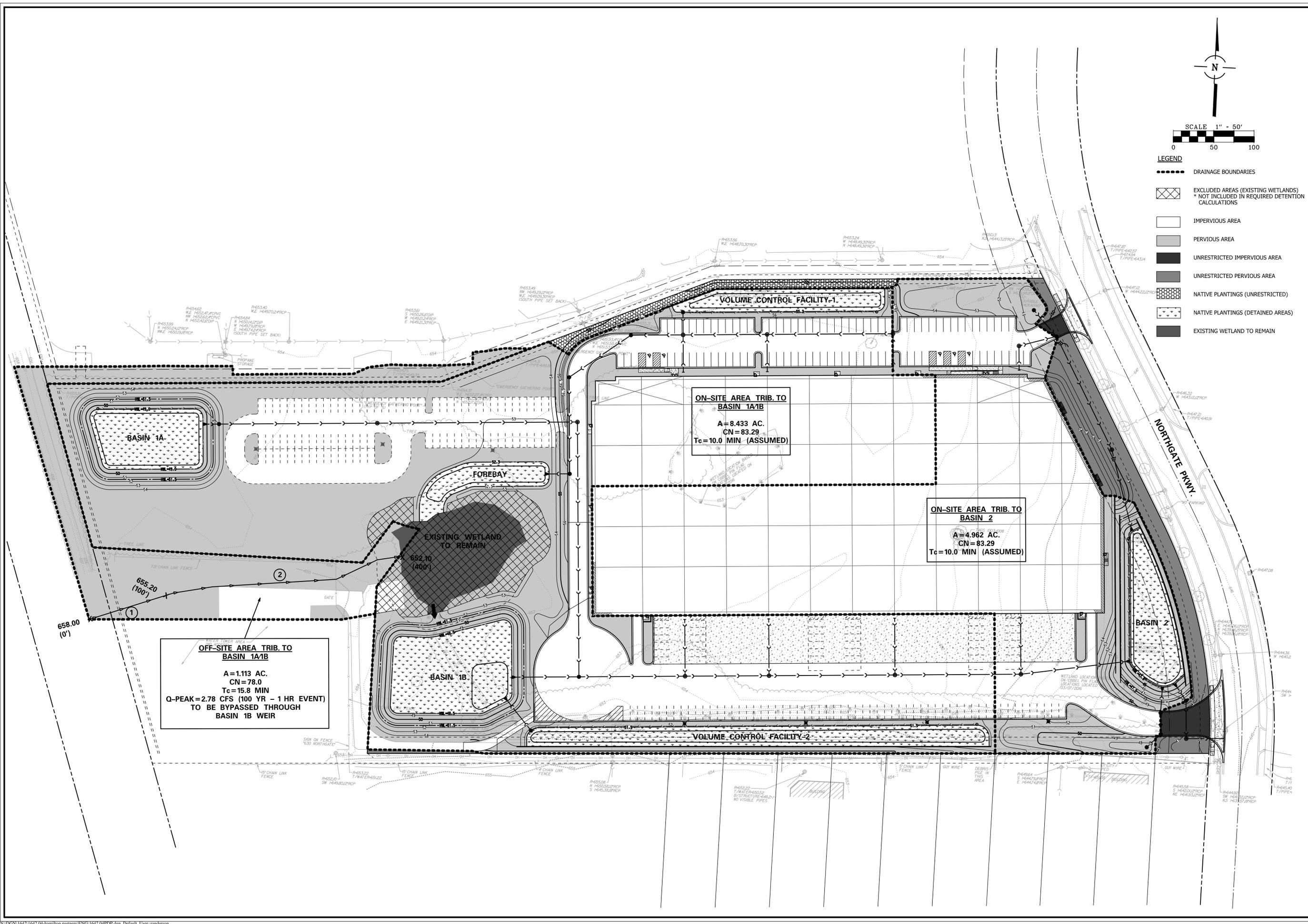
DATE:
09/16/2016

JOB NO.
1642_04

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21 OF 22



- LEGEND**
- DRAINAGE BOUNDARIES
 - ▨ EXCLUDED AREAS (EXISTING WETLANDS)
* NOT INCLUDED IN REQUIRED DETENTION CALCULATIONS
 - IMPERVIOUS AREA
 - ▒ PERVIOUS AREA
 - UNRESTRICTED IMPERVIOUS AREA
 - ▒ UNRESTRICTED PERVIOUS AREA
 - ▨ NATIVE PLANTINGS (UNRESTRICTED)
 - ▨ NATIVE PLANTINGS (DETAINED AREAS)
 - EXISTING WETLAND TO REMAIN



OFF-SITE AREA TRIB. TO BASIN 1A/1B

A = 1.113 AC.
CN = 78.0
T_c = 15.8 MIN
Q-PEAK = 2.78 CFS (100 YR - 1 HR EVENT)
TO BE BYPASSED THROUGH BASIN 1B WEIR

ON-SITE AREA TRIB. TO BASIN 1A/1B

A = 8.433 AC.
CN = 83.29
T_c = 10.0 MIN (ASSUMED)

ON-SITE AREA TRIB. TO BASIN 2

A = 4.962 AC.
CN = 83.29
T_c = 10.0 MIN (ASSUMED)

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PROPOSED DRAINAGE PLAN

800 NORTHGATE PARKWAY

WHEELING, ILLINOIS

CONSULTING ENGINEERS
SITE DEVELOPMENT ENGINEERS
LAND SURVEYORS

9575 W. Higgins Road, Suite 700,
Rosemont, Illinois 60018
Phone: (847) 676-4060 Fax: (847) 676-4065



SPACECO INC.

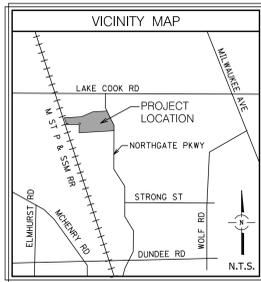
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DATE:
09/16/2016

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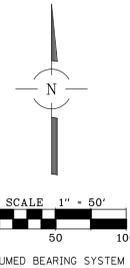
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A.L.T.A. \ N.S.P.S. LAND TITLE SURVEY



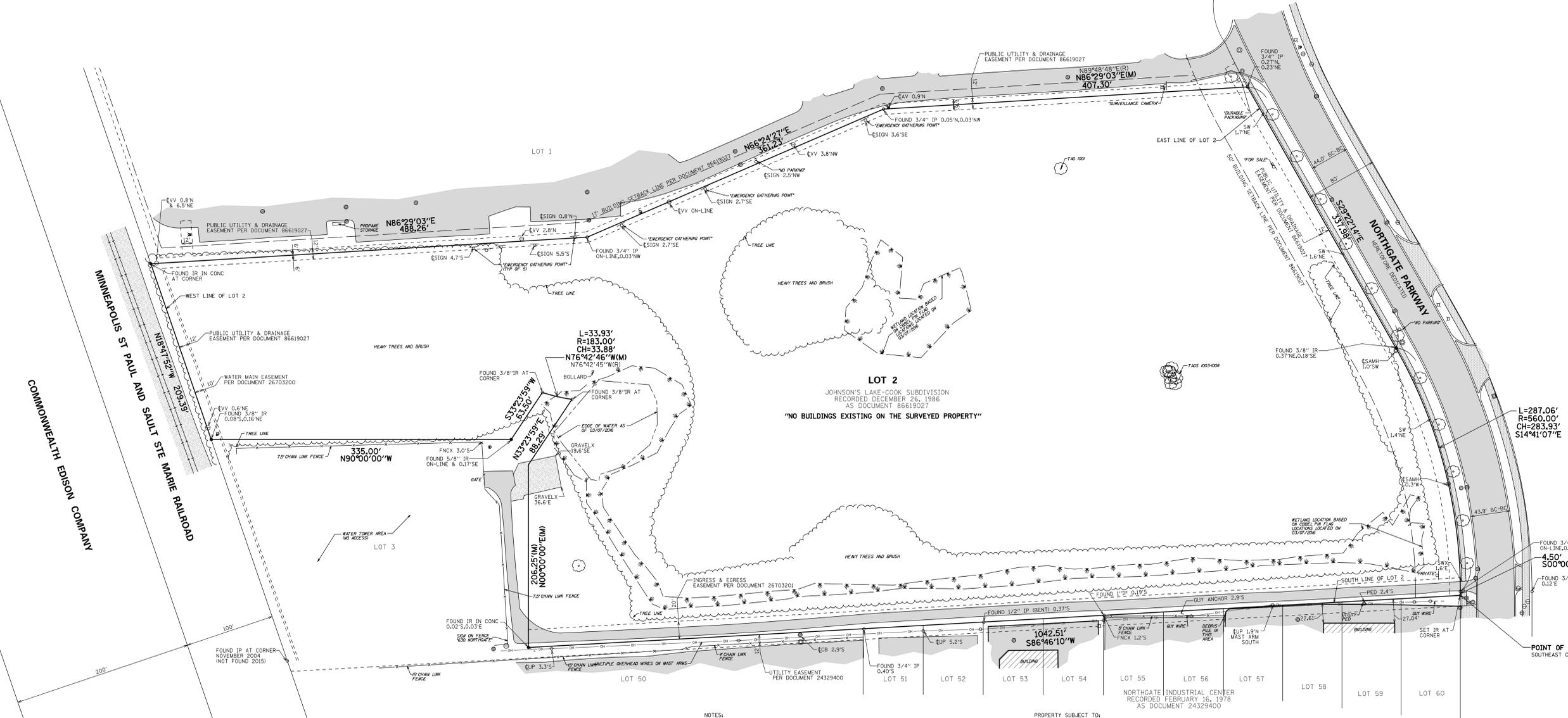
PROPERTY DESCRIPTION (PER TITLE COMMITMENT):
 LOT 2 OF JOHNSON'S LAKE-COOK SUBDIVISION BEING A SUBDIVISION OF PART OF THE NORTHEAST QUARTER OF SECTION 3, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED DECEMBER 26, 1986 AS DOCUMENT NUMBER 86619027, IN COOK COUNTY ILLINOIS.

LAKE COOK ROAD



LEGEND

| | |
|-------|---------------------------------|
| —○—○— | OVERHEAD WIRELESS UTILITY POLES |
| —○—○— | RAILROAD |
| —○—○— | FENCE |
| —○—○— | QUANDRIL |
| —○—○— | EDGE OF WATER |
| —○—○— | WETLAND LIMITS |
| —○—○— | SAFETY MARKER (5MM) |
| —○—○— | STORM MANHOLE (5MM) |
| —○—○— | CATCH BASIN |
| —○—○— | WELT |
| —○—○— | FLARED END SECTION |
| —○—○— | ELECTRIC MARKER |
| —○—○— | TELEPHONE MARKER |
| —○—○— | ELECTRIC UPRIGHT |
| —○—○— | CABLE TV UPRIGHT |
| —○—○— | FIRE HYDRANT |
| —○—○— | VALVE AND VALVE (WV) |
| —○—○— | WATER VALVE |
| —○—○— | B BOX |
| —○—○— | RESURVEY VALVE (WV) |
| —○—○— | GAS VALVE |
| —○—○— | HAND PALE |
| —○—○— | STREET LIGHT |
| —○—○— | UTILITY POLE (UP) |
| —○—○— | TRAFFIC SIGNAL |
| —○—○— | TRAFFIC SIGNAL BOX |
| —○—○— | ISLAND |
| —○—○— | WALDOX |
| —○—○— | SSW |
| —○—○— | UNIDENTIFIED MARKER |
| —○—○— | ROOF-OF-WAY MARKER |
| —○—○— | DOE |
| —○—○— | IRON / STEEL ROD |
| —○—○— | WOOD |
| —○—○— | CUT CROSS |
| —○—○— | PK / AND RAIL |
| —○—○— | TOP OF CURB |
| —○—○— | FACE |
| —○—○— | FACE CORNER |
| —○—○— | GRAVEL CORNER |
| —○—○— | IRON ROD |
| —○—○— | RECORDED RECORD |
| —○—○— | ASPHALT |
| —○—○— | CONCRETE |
| —○—○— | GRAVEL |



NOTES:
 THIS SURVEY REFLECTS MATTERS OF TITLE AS LISTED ON A COMMITMENT FOR TITLE INSURANCE BY CHICAGO TITLE INSURANCE COMPANY, COMMITMENT NO./ORDER NO. 1401 008978481 DI WITH EFFECTIVE DATE: MAY 24, 2016.
 UNDERGROUND UTILITIES ARE SHOWN BY USING PHYSICAL EVIDENCE FOUND ON THE SURFACE AND/OR FROM UTILITY COMPANY FIELD STAKES, AND/OR ENGINEERING DESIGN PLANS. THEREFORE, THEIR LOCATIONS ARE APPROXIMATE AND SUSPECTED AND MAY NOT BE COMPLETELY ACCURATE. FOR MORE ACCURATE LOCATION, FIELD EXCAVATE. OTHER UTILITIES NOT SHOWN MAY EXIST. NO UNDERGROUND UTILITIES WERE LOCATED. BEFORE DIGGING CALL 811/11111. AT 1-800-955-0123.
 ALL DIMENSIONS ARE IN FEET AND DECIMAL PARTS THEREOF. NO DISTANCES OR ANGLES SHOWN HEREON MAY BE ASSUMED BY SCALING.
 THIS PROFESSIONAL SERVICE CONFORMS TO THE CURRENT ILLINOIS MINIMUM STANDARDS FOR A BOUNDARY SURVEY.
 SPACECO, INC IS AN ILLINOIS PROFESSIONAL DESIGN FIRM REGISTERED UNDER LICENSE NUMBER 184-00157.
 TAX P.I.A. (PER TITLE COMMITMENT): 03-03-200-026-0000
 ADDRESS (PER COOK COUNTY GIS): 800 NORTHGATE PARKWAY WHEELING, ILLINOIS 60090 (TABLE A ITEM 2)
 BASED UPON A REVIEW OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) MAP NUMBER 17031C0081, MAP REVISED AUGUST 19, 2008, IT IS OUR CONSIDERED OPINION THAT THIS PROPERTY LIES IN ZONE X (UNSHADED) AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AS IDENTIFIED BY SAID F.I.R.M. MAP. (TABLE A ITEM 3)
 PROPERTY SURVEYED CONTAINS 607,428 SQUARE FEET, OR 13.945 ACRES, MORE OR LESS. (TABLE A ITEM 4)
 THE CURRENT ZONING FOR THE SURVEYED PROPERTY IS I-3 GENERAL INDUSTRIAL, BASED ON THE OFFICIAL ZONING MAP OF THE VILLAGE OF WHEELING, MAP LAST UPDATED OCTOBER 26, 2005. (TABLE A ITEM 6A)
 THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS WITHIN RECENT MONTHS. (TABLE A ITEM 16)
 THERE IS NO OBSERVABLE EVIDENCE OF THE SURVEYED SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

PROPERTY SUBJECT TO:
 C 10. TERMS, CONDITIONS, PROVISIONS, AND LIMITATIONS CONTAINED IN THE ORDINANCE MADE BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING REGARDING THE DEDICATION OF NORTHGATE PARKWAY RECORDED JANUARY 10, 1979 AS DOCUMENT 2479255.
 (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY BUT IS NOT A PLOTTABLE ITEM. SEE DOCUMENT FOR DETAILS.)
 D 11. GRANT OF EASEMENT RECORDED JULY 26, 1983 AS DOCUMENT 26703200 AND MADE BY WILLIAM R. JOHNSON TO THE VILLAGE OF WHEELING, A MUNICIPAL CORPORATION OF COOK COUNTY, ILLINOIS, SAID PERPETUAL EASEMENT IS FOR THE INSTALLATION, CONSTRUCTION, USE, REPAIR AND MAINTENANCE OF A WATER MAIN AND RIGHT TO ENTER UPON THE EASEMENT, UNDER, OVER AND ACROSS THE WESTERLY 10 FEET OF THE LAND. (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY, AND IS SHOWN HEREON.)
 E 12. GRANT OF EASEMENT FOR INGRESS AND EGRESS RECORDED JULY 26, 1983 AS DOCUMENT 26703201 MADE BY WILLIAM R. JOHNSON TO THE VILLAGE OF WHEELING, A MUNICIPAL CORPORATION OF COOK COUNTY, ILLINOIS, OVER THE SOUTHERLY 20 FEET OF THE LAND. (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY, AND IS SHOWN HEREON.)
 F 13. A 12 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT OVER THE WESTERLY, NORTHERLY AND EASTERLY LINES OF THE LAND AS SHOWN ON PLAT OF JOHNSON'S LAKE-COOK SUBDIVISION RECORDED DECEMBER 26, 1986 AS DOCUMENT 86619027.
 (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY, AND IS SHOWN HEREON.)
 G 14. A 50 FOOT BUILDING SETBACK LINE AS DEPICTED ON PLAT OF JOHNSON'S LAKE-COOK SUBDIVISION RECORDED DECEMBER 26, 1986 AS DOCUMENT 86619027.
 (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY, AND IS SHOWN HEREON.)
 H 15. A 6 FOOT PUBLIC UTILITY AND DRAINAGE EASEMENT OVER THE NORTHERLY LINE OF THE LAND AS SHOWN ON PLAT OF JOHNSON'S LAKE-COOK SUBDIVISION AFORESAID.
 (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY, AND IS SHOWN HEREON.)
 I 16. COVENANT CONTAINED ON PLAT OF JOHNSON'S LAKE-COOK SUBDIVISION RECORDED DECEMBER 26, 1986 AS DOCUMENT 86619027 STATING THAT DETENTION WILL BE PROVIDED UPON THE DEVELOPMENT OF THE LAND.
 (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY BUT IS NOT A PLOTTABLE ITEM.)
 J 17. THE LAND IS TO PROVIDE SANITARY SERVICE TO LOT 3 UPON DEVELOPMENT OF THE LAND AS SHOWN ON JOHNSON'S LAKE-COOK SUBDIVISION RECORDED DECEMBER 26, 1986 AS DOCUMENT 86619027.
 (SURVEYOR'S NOTE: THIS EXCEPTION AFFECTS THE SURVEYED PROPERTY BUT IS NOT A PLOTTABLE ITEM.)

STATE OF ILLINOIS)
 COUNTY OF COOK) SS
 TO: CHICAGO TITLE INSURANCE COMPANY
 AND TO: ROLLING FRITO-LAY SALES, LP, A DELAWARE LIMITED PARTNERSHIP
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NPS, AND INCLUDES ITEMS 1, 2, 3, 4, 6/01, 8 & 16 OF TABLE "A" THEREOF. THE FIELD WORK WAS COMPLETED ON MAY 31, 2016.
 GIVEN UNDER MY HAND AND SEAL THIS 1st DAY OF JUNE, 2016 IN ROSEMONT, ILLINOIS.
C. Brian Blunsbury
 C. BRIAN BLUNSBURY, P.L.L.C., No. 035-2841
 LICENSE EXPIRES 11-30-2016
 blunsbury@spacecoinc.com
 (VALID ONLY IF EMBOSSED SEAL AFFIXED)



THE RECORD DISTANCES AND BEARINGS OF LOT 2 FAIL TO FORM A CLOSED FIGURE, DEVIATING 23.7 FEET IN THE NORTH-SOUTH DIRECTION AND 10.3 FEET IN THE EAST-WEST DIRECTION.

Exhibit received September 21, 2016

PREPARED FOR:
 HAMILTON PARTNERS
 1130 LAKE COOK ROAD, SUITE 190
 BUFFALO GROVE, ILLINOIS 60089

| | | | |
|------------|--|----------------------------|--------------------------|
| REVISIONS: | | CONSULTING ENGINEERS | DATE: 06/01/2016 |
| | | SITE DEVELOPMENT ENGINEERS | JOB NO: 1642 |
| | | LAND SURVEYORS | FILENAME: 1642ALTA-02 |
| | | | SHEET 1 OF 1 |

9575 W. Higgins Road, Suite 700,
 Rosemont, Illinois 60018
 Phone: (847) 696-4060 Fax: (847) 696-4065

Traffic Impact Study

Proposed Warehouse/Distribution Facility

Wheeling, Illinois



Prepared for

HAMILTON
PARTNERS

Prepared by

KLOA
Kenig, Lindgren, O'Hara, Aboona, Inc.

October 3, 2016

Exhibit received October 4, 2016

1. Introduction

This report summarizes the results of a traffic study conducted by Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA, Inc.) for a proposed warehouse/distribution facility to be located in Wheeling, Illinois. The site, which is currently vacant, is located on the west side of Northgate Parkway approximately one tenth of a mile south of Lake Cook Road. As proposed, the development is to contain a single building with approximately 181,100 square feet of warehouse/distribution space. Access to the development will be provided via two full movement access drives on Northgate Parkway.

The purpose of this study was to examine existing traffic conditions, assess the impact that the proposed development will have on traffic conditions in the area, and determine if any roadway or access improvements are necessary to accommodate traffic generated by the development.

The sections of this report present the following:

- Existing roadway conditions
- A description of the proposed development
- Directional distribution of the development-generated traffic
- Vehicle trip generation for the proposed development
- Projected traffic conditions, including access to the development
- Traffic analyses for the weekday morning and evening peak hours
- Recommendations with respect to development access and the adjacent roadway network

2. Existing Conditions

Existing transportation conditions in the vicinity of the site were documented based on field visits conducted by KLOA, Inc. in order to obtain a database for projecting future conditions. The following provides a description of the geographical location of the site, physical characteristics of the area roadway system including lane usage and traffic control devices, and existing peak hour traffic volumes.

Site Location

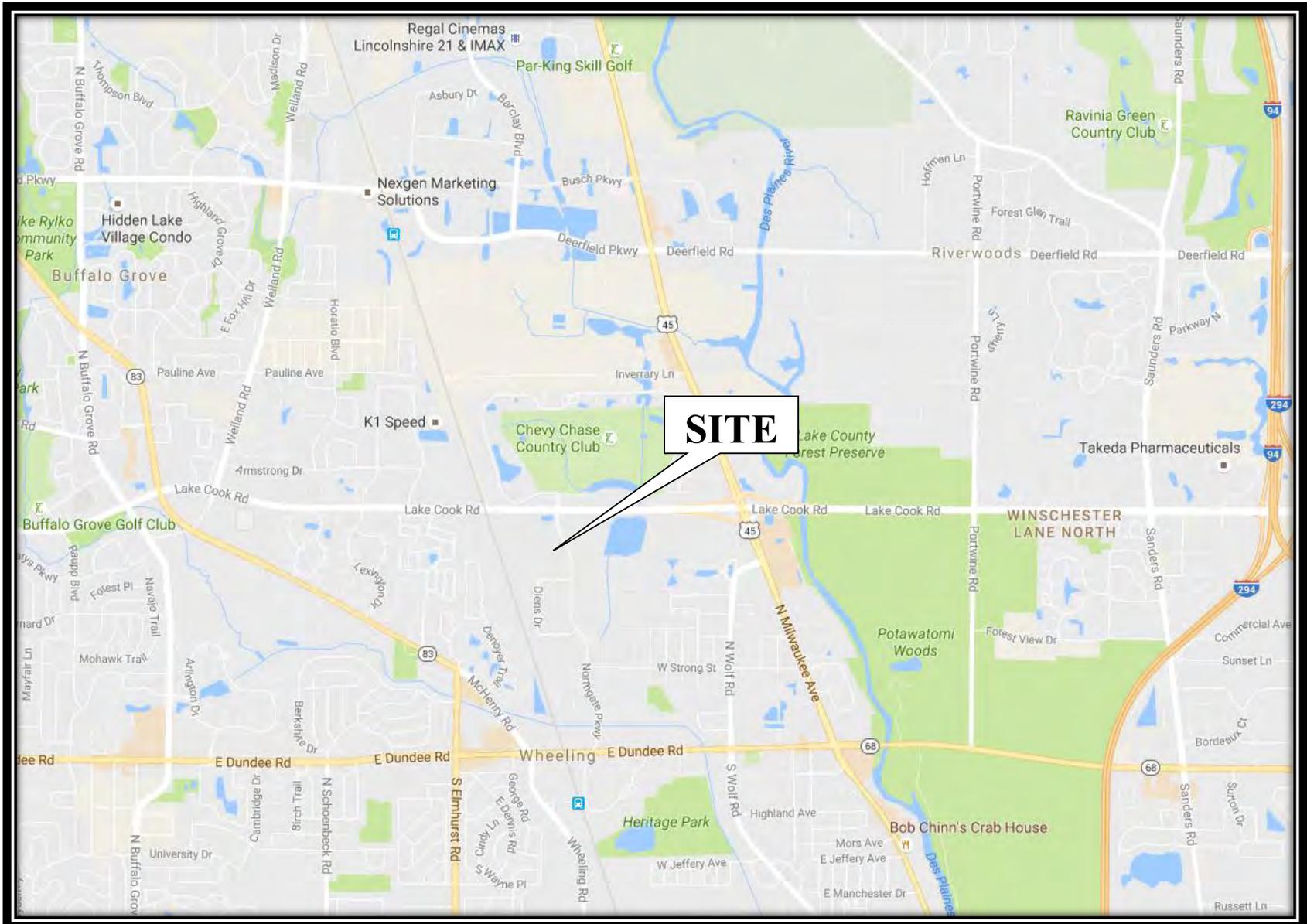
The site, which is currently vacant, is located on the west side of Northgate Parkway approximately one-tenth of a mile south of Lake Cook Road and is bounded by Durable Packaging International to the north, Wieland Metals to the east, the Northgate Business Center to the south, and the Wisconsin Central Railroad to the west. **Figure 1** shows the location of the site in relation to the area roadway system and **Figure 2** shows an aerial view of the site.

Existing Roadway System Characteristics

The characteristics of the existing roads that surround the proposed development are described below and shown in **Figure 3**.

Lake Cook Road is an east-west arterial roadway that within the vicinity of the site generally provides three lanes in each direction. At its signalized intersection with Northgate Parkway, Lake Cook Road provides an exclusive left-turn lane, three exclusive through lanes, and an exclusive right-turn lane on both approaches. Its traffic signal with Northgate Parkway is fully actuated with left-turn protected/permissive with right-turn overlap phases provided on all approaches. Lake Cook Road is under the jurisdiction of the Cook County Department of Transportation and Highways and is classified as a strategic regional arterial (SRA) by the Illinois Department of Transportation (IDOT). Lake Cook Road has a posted speed limit of 45 miles per hour (mph), carries an Annual Average Daily Traffic (AADT) volume of 37,200 vehicles per day west of Northgate Parkway and 39,400 vehicles per day east of Northgate Parkway as reported by IDOT in 2014, and is classified as a class two truck route between U.S. 12 and I-94 by IDOT.

Northgate Parkway is a north-south local roadway that extends from Johnson Drive south to the Wheeling Metra Station and in the vicinity of the site provides one lane in each direction separated by a striped median. At its signalized intersection with Lake Cook Road, Northgate Parkway provides an exclusive left-turn lane, an exclusive through lane, and an exclusive right-turn lane on both approaches. Northgate Parkway is under the jurisdiction of the Village of Wheeling and has a posted speed limit of 30 mph.



Site Location

Figure 1

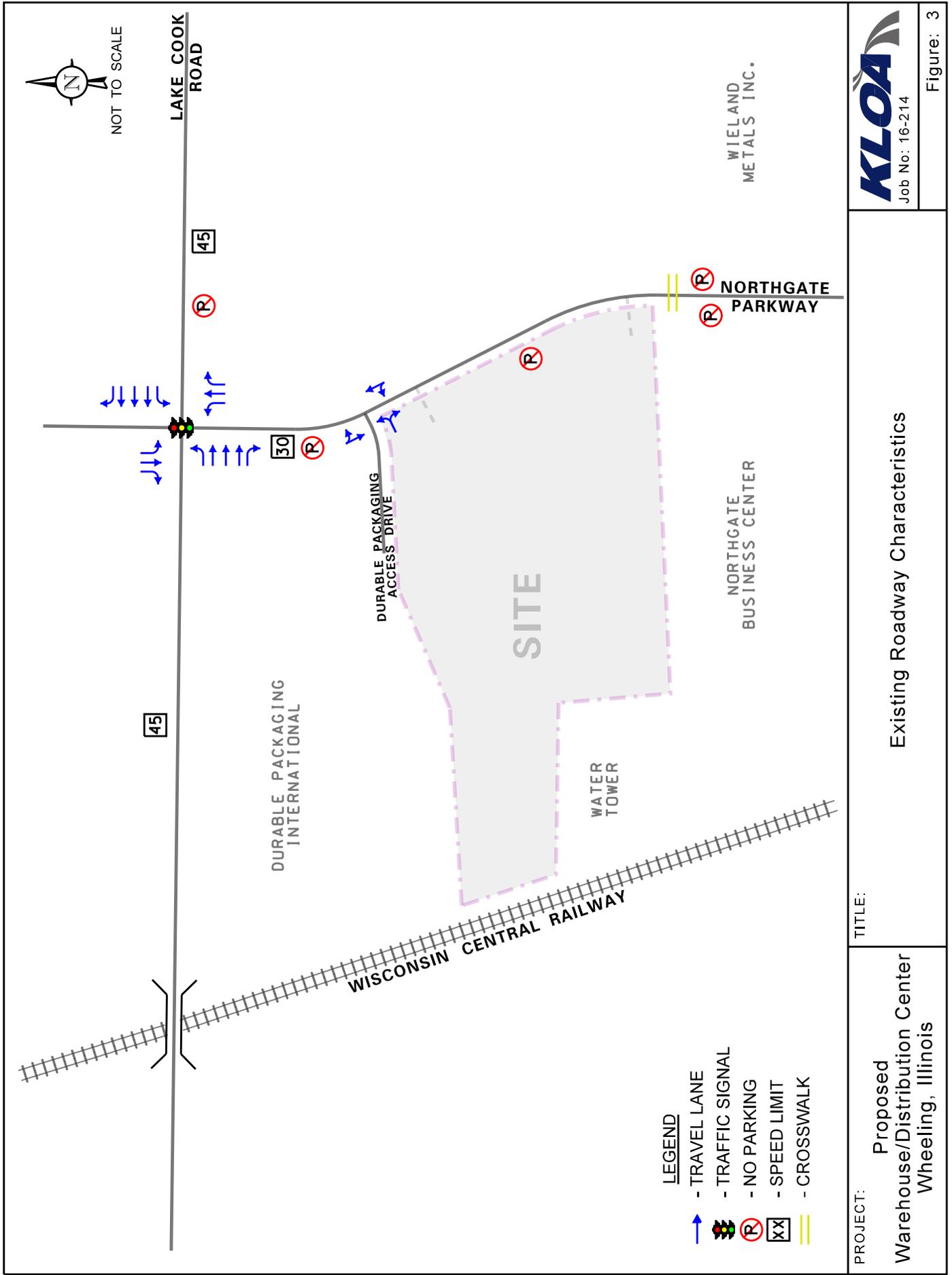
Warehouse/Distribution Facility
Wheeling, Illinois



Aerial View of Site Location

Figure 2

Warehouse/Distribution Facility
Wheeling, Illinois



Proposed Lake Cook Road Improvements

Cook County's 2016-2020 Transportation Program lists Lake Cook Road as a future improvement project. As proposed, Lake Cook Road will be widened to provide three through lanes in each direction from Buffalo Grove Road to Hastings Drive, located approximately three-fifths of a mile west of Northgate Parkway, where Lake Cook Road currently narrows from three to two lanes in each direction. Construction on Lake Cook Road is currently anticipated to begin in 2018 and finish in 2019. Furthermore, the Lake Cook Road bridge over the Wisconsin Central Railroad, west of Northgate Parkway, is currently undergoing maintenance work.

Existing Traffic Volumes

In order to determine current traffic conditions on the existing roads, KLOA, Inc. conducted peak period traffic classification counts at the following intersections:

- Lake Cook Road with Northgate Parkway
- Northgate Parkway with the Durable Packaging Access Drive

The traffic counts were conducted on Wednesday, September 7, 2016 during the morning (7:00 A.M. to 9:00 A.M.) and evening (4:00 P.M. to 6:00 P.M.) peak periods. The results of the traffic counts showed that the weekday morning peak hour of traffic occurs from 7:00 A.M. to 8:00 A.M. and the weekday evening peak hour of traffic occurs from 4:30 P.M. to 5:30 P.M. **Figure 4A** illustrates the total existing peak hour traffic volumes and **Figure 4B** illustrates the existing truck peak hour traffic volumes. Summaries of the traffic counts are located in the Appendix. It should be noted that construction on Lake Cook Road for bridge repairs had begun when the traffic counts were conducted and that one lane in each direction was closed on Lake Cook Road several hundred feet west of Northgate Parkway.

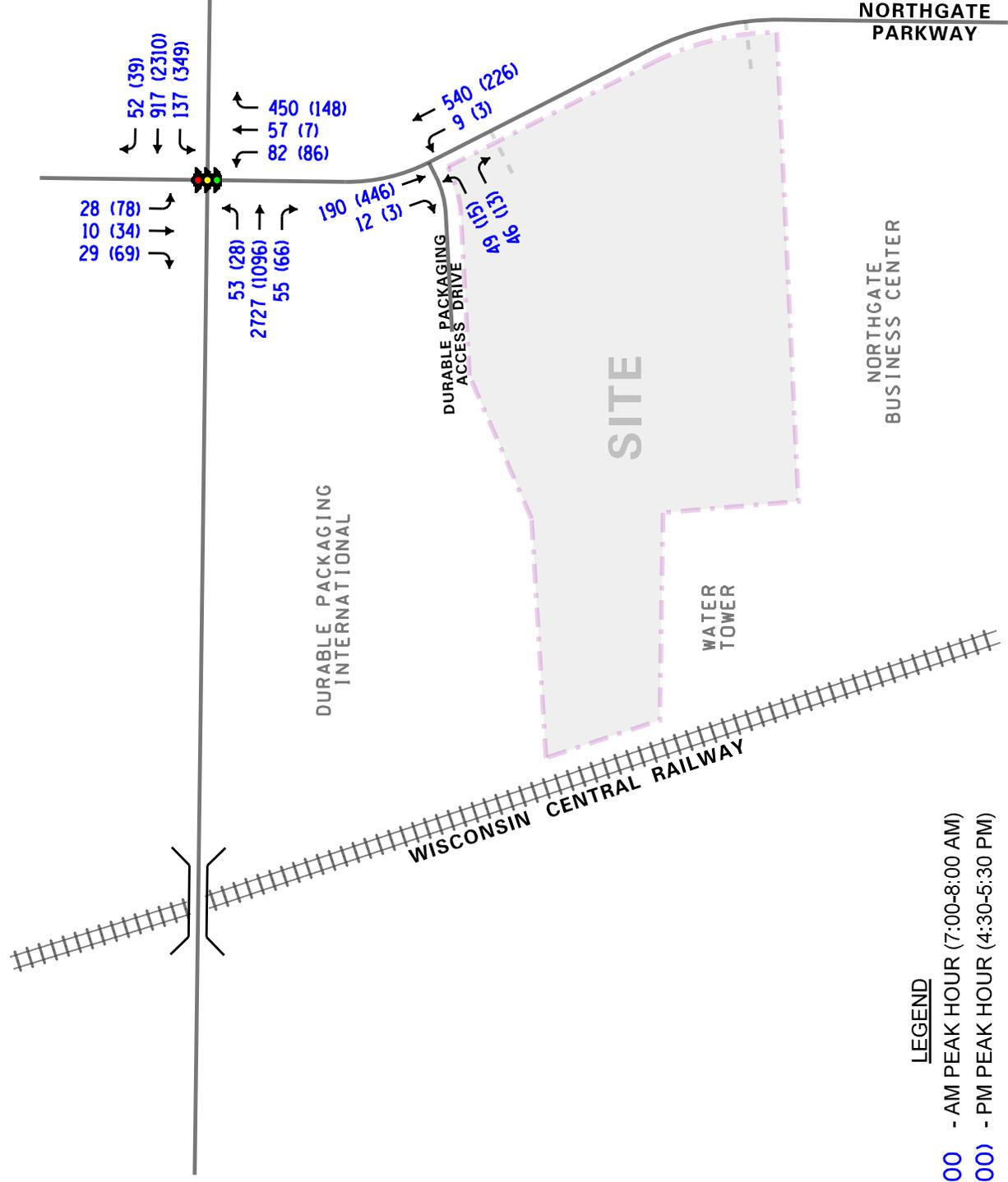
Traffic Observations

Field observations conducted during the same peak hours as the traffic counts showed that northbound traffic queues on Northgate Parkway briefly extended past the Durable Packaging access drive several times during the weekday morning peak hour. This is the result of the heavy volume of northbound right-turning traffic onto Lake Cook Road. The northbound traffic queues did not interfere with the operations of the intersection of Northgate Parkway and the Durable Packaging access drive due to courtesy gaps and traffic queues normally clearing every cycle. Furthermore, vehicles turning left or traveling through at Lake Cook Road were observed to regularly bypass the northbound right-turn queues by driving on the median.



NOT TO SCALE

LAKE COOK ROAD



LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

TITLE:

Existing Passenger Vehicle and Truck Traffic Volumes

PROJECT:

Proposed Warehouse/Distribution Center Wheeling, Illinois



Figure: 4A



NOT TO SCALE

LAKE COOK ROAD

1 (8)
 26 (20)
 4 (19)

1 (1)
 54 (23)
 3 (2)

DURABLE PACKAGING INTERNATIONAL

DURABLE PACKAGING ACCESS DRIVE

7 (00)
 1 (0)

21 (7)
 2 (0)

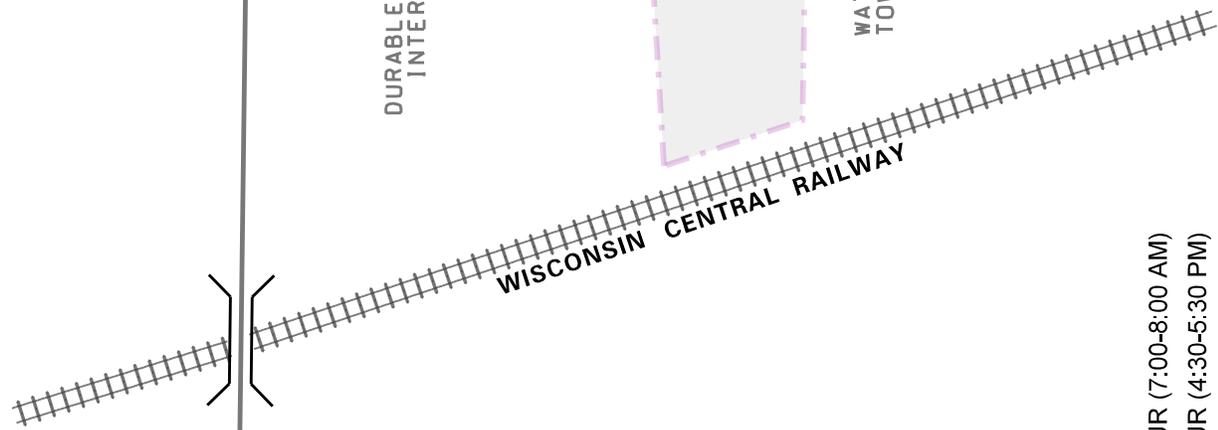
SITE

WATER TOWER

NORTHGATE PARKWAY

NORTHGATE BUSINESS CENTER

WIELAND METALS INC.



WISCONSIN CENTRAL RAILWAY

LEGEND

00 - AM PEAK HOUR (7:00-8:00 AM)

(00) - PM PEAK HOUR (4:30-5:30 PM)

TITLE:

PROJECT:

Proposed
 Warehouse/Distribution Center
 Wheeling, Illinois

Existing Truck Traffic Volumes



Figure: 4B

Accident Analysis

KLOA, Inc. obtained accident data from IDOT for the past five years (2010 to 2014) for the intersection of Lake Cook Road with Northgate Parkway. **Table 1** summarizes the accident data for the intersection. A review of the accident data revealed that no fatalities were reported.

DISCLAIMER: The motor vehicle crash data referenced herein was provided by the Illinois Department of Transportation. The author is responsible for any data analyses and conclusions drawn.

Table 1

LAKE COOK ROAD WITH NORTHGATE PARKWAY ACCIDENT SUMMARY

| Year | Type of Accident Frequency | | | | | | Total |
|---------------------|----------------------------|----------------|------------|------------|------------|----------------|-------------|
| | Angle | Object | Rear End | Sideswipe | Turning | Other | |
| 2010 | - | 3 | 6 | 2 | 2 | 1 | 14 |
| 2011 | - | - | 3 | 1 | 2 | 1 | 7 |
| 2012 | - | - | 3 | 1 | 6 | 1 | 11 |
| 2013 | - | 1 | 8 | - | 3 | - | 11 |
| 2014 | - | - | <u>13</u> | <u>3</u> | <u>3</u> | - | <u>19</u> |
| Total | 0 | 4 | 33 | 7 | 16 | 3 | 62 |
| Average/Year | 0 | >1.0 | 6.6 | 1.4 | 3.2 | >1.0 | 12.4 |

3. Traffic Characteristics of the Proposed Development

In order to properly evaluate future traffic conditions in the surrounding area, it was necessary to determine the traffic characteristics of the proposed development, including the directional distribution and volumes of traffic that it will generate.

Proposed Development Plan

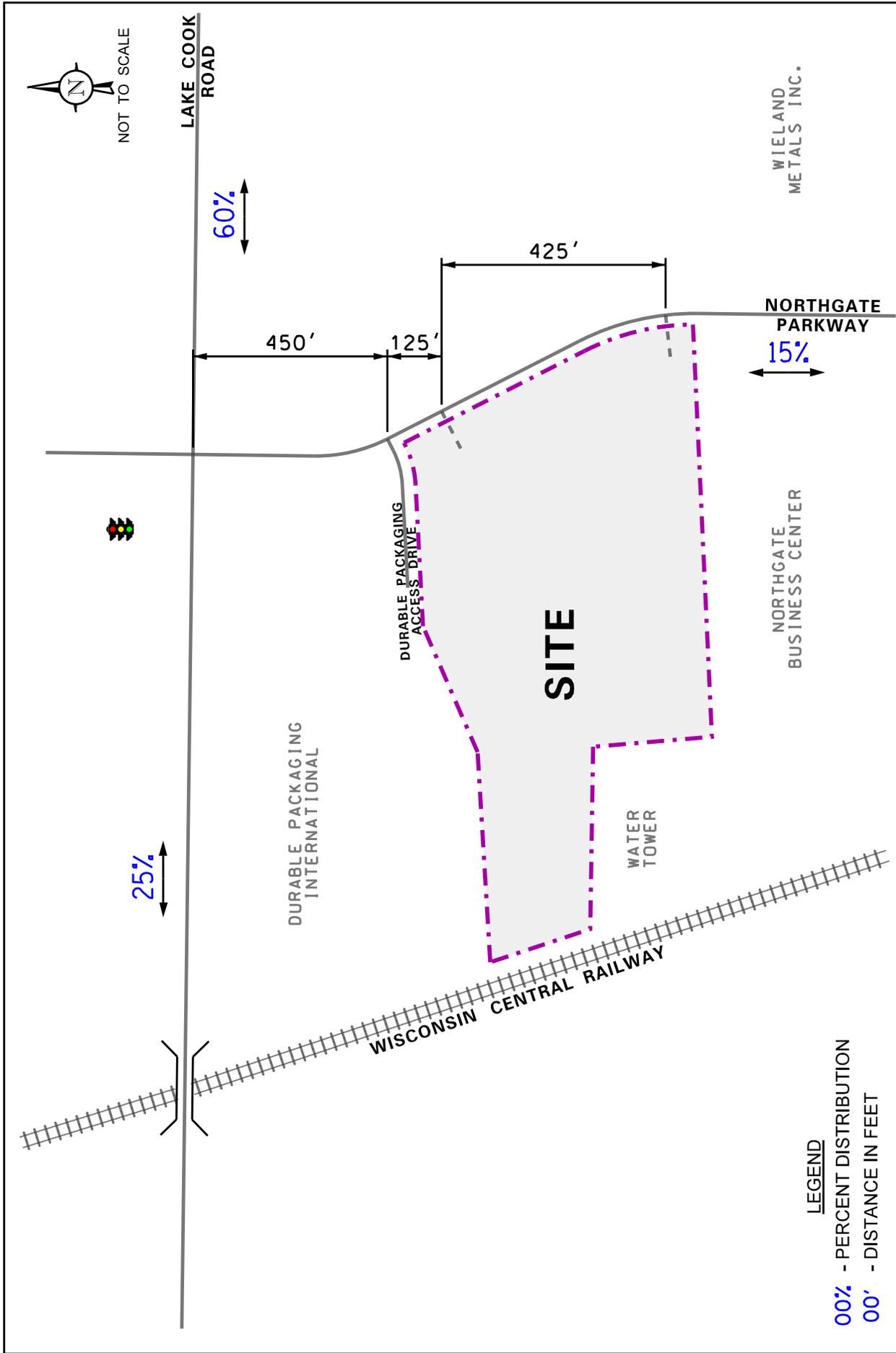
As proposed, the development is to consist of a warehouse/distribution building containing approximately 181,100 square feet of space. The following summarizes the proposed access to the development:

- *North Access Drive.* This access drive is proposed to be located on the west side of Northgate Parkway at the north end of the site approximately 125 feet (centerline to centerline) south of the Durable Packaging International access drive. As proposed, this access drive will allow full movements and will be restricted to employee traffic only. The access drive will provide one inbound lane and one outbound lane under stop sign control. Similar to other access drives in the vicinity, inbound left turns will be accommodated by the existing striped median.
- *South Access Drive.* This access drive is proposed to be located on the west side of Northgate Parkway at the south end of the site, approximately 425 feet (centerline to centerline) south of the north access drive and opposite the Wieland Metals middle access drive. As proposed, this access drive will allow full movements and will allow both employee and truck traffic. The access drive will provide one inbound lane and one outbound lane under stop sign control. Similar to other access drives in the vicinity, inbound left turns will be accommodated by the existing striped median. In addition, the access drive will be designed with larger radii in order to accommodate the turning truck traffic.

The preliminary site plan prepared by Ware Malcomb and dated August 26, 2016 can be found in the Appendix.

Directional Distribution of Site Traffic

The directions from which development-generated traffic will approach and depart the site were estimated based on the existing travel patterns, as determined from the traffic counts. **Figure 5A** illustrates the estimated directional distribution for passenger vehicles and **Figure 5B** illustrates the estimated directional distribution for trucks.





NOT TO SCALE

LAKE COOK ROAD

60%

WIELAND METALS INC.

425'

450'

125'

NORTHGATE PARKWAY

10%

WIELAND METALS INC.

NORTHGATE BUSINESS CENTER

SITE

DURABLE PACKAGING ACCESS DRIVE

DURABLE PACKAGING INTERNATIONAL

WATER TOWER

WISCONSIN CENTRAL RAILWAY

30%

LEGEND

00% - PERCENT DISTRIBUTION

00' - DISTANCE IN FEET

TITLE:

PROJECT:

Proposed Warehouse/Distribution Center Wheeling, Illinois

Estimated Truck Directional Distribution



Job No: 16-214

Figure: 5B

Site Traffic Generation

As stated previously, the development is proposed to consist of approximately 181,100 square feet of warehouse/distribution space. The estimate of the peak hour traffic that will be generated by the development was based on the trip generation rates published in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual*, 9th Edition. **Table 2** shows the estimated peak hour traffic to be generated by the development separated by passenger vehicles and trucks. Based on information provided in the *Trip Generation Manual*, it was determined that trucks would represent 20 percent of the total traffic generated by the development during the peak hours. It should be noted that to provide a conservative (worst-case) analysis, the warehouse trip rates were used as opposed to the distribution center trip rates to estimate the peak hour traffic as the warehouse rates were higher.

Table 2
ESTIMATED SITE-GENERATED TRAFFIC VOLUMES

| ITE Land- Use Code | Land Use/Size | Weekday Morning Peak Hour | | | Weekday Evening Peak Hour | | | Daily Two- Way Trips |
|--------------------------|-----------------------------|------------------------------|-----------|-----------|------------------------------|-----------|-----------|-------------------------|
| | | In | Out | Total | In | Out | Total | Total |
| 150 | Warehouse (181,100 s.f.) | | | | | | | |
| | Passenger Vehicles | 34 | 9 | 43 | 11 | 34 | 45 | 658 |
| | Trucks | <u>9</u> | <u>2</u> | <u>11</u> | <u>3</u> | <u>9</u> | <u>12</u> | <u>164</u> |
| | Total | 43 | 11 | 54 | 14 | 43 | 57 | 822 |

4. Projected Traffic Conditions

The projected Year 2022 traffic volumes include the existing traffic volumes, increase in background traffic due to ambient growth, and the traffic estimated to be generated by the proposed development.

Development Traffic Assignment

The estimated weekday morning and evening peak hour traffic volumes that will be generated by the proposed development were assigned to the roadway system in accordance with the previously described directional distributions (Figures 5A and 5B). **Figure 6A** illustrates the passenger vehicle traffic assignment and **Figure 6B** illustrates the truck traffic assignment for the development.

Background Traffic Conditions

The existing traffic volumes (Figure 4A) were increased by a regional growth factor to account for the increase in existing traffic related to regional growth in the area (i.e., not attributable to any particular planned development). Based on the Chicago Metropolitan Agency for Planning (CMAP) *2040 Forecast of Population, Households and Employment* an increase of 0.75 percent per year over six years (buildout year plus five years) for a total of four and a half percent was applied to the existing traffic volumes to obtain projected Year 2022 traffic volumes. In addition, traffic that will be generated by the proposed nearby retail development on Northgate Parkway to be located in the northeast quadrant of the intersection of Dundee Road (IL 68) with Northgate Parkway and the Wheeling Town Center development to be located on the south side of Dundee Road were added to the Year 2022 traffic volumes. A copy of the CMAP traffic projections letter can be found in the Appendix.

Projected Year 2022 Traffic Volumes

Projected Year 2022 traffic volumes include the existing traffic volumes, the additional background growth, and the traffic estimated to be generated by the proposed development. **Figure 7** shows the projected Year 2022 traffic volumes.



NOT TO SCALE

LAKE COOK ROAD

20 (6)

9 (3)
6 (20)
0 (0)
2 (9)

9 (3)

DURABLE PACKAGING ACCESS DRIVE

SITE

WATER TOWER

WISCONSIN CENTRAL RAILWAY

NORTHGATE PARKWAY

NORTHGATE BUSINESS CENTER

WIELAND METALS INC.

DURABLE PACKAGING INTERNATIONAL

29 (9)
8 (29)
9 (3)
20 (6)
9 (3)
1 (1)
2 (9)
3 (3)

1 (3)
9 (3)
2 (9)
0 (2)
3 (3)
2 (3)

LEGEND

00 - AM PEAK HOUR (7:00-8:00 AM)

(00) - PM PEAK HOUR (4:30-5:30 PM)

TITLE:

Estimated Site-Generated Passenger Vehicle Traffic Volumes

PROJECT:

Proposed Warehouse/Distribution Center Wheeling, Illinois



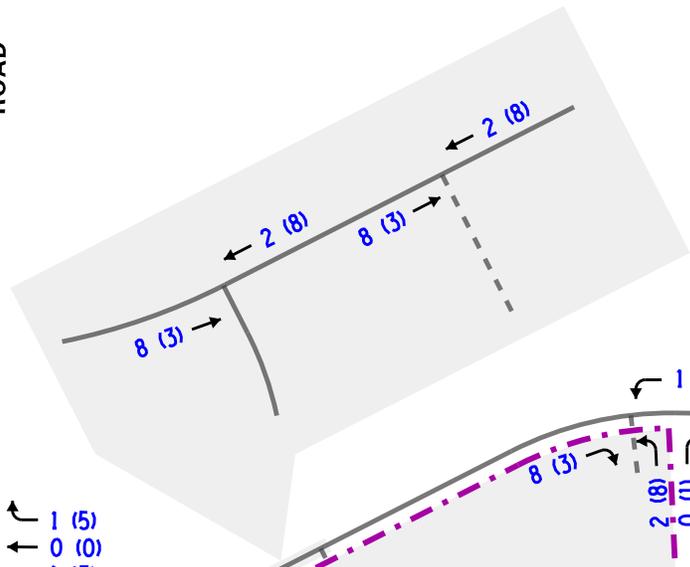
Figure: 6A



NOT TO SCALE

LAKE COOK ROAD

5 (2)
3 (1)
1 (5)
0 (0)
1 (3)



WIELAND METALS INC.

NORTHGATE PARKWAY

NORTHGATE BUSINESS CENTER

DURABLE PACKAGING ACCESS DRIVE

SITE

WATER TOWER

WISCONSIN CENTRAL RAILWAY

LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

TITLE:

PROJECT:

Proposed Warehouse/Distribution Center Wheeling, Illinois

Estimated Site-Generated Truck Traffic Volumes



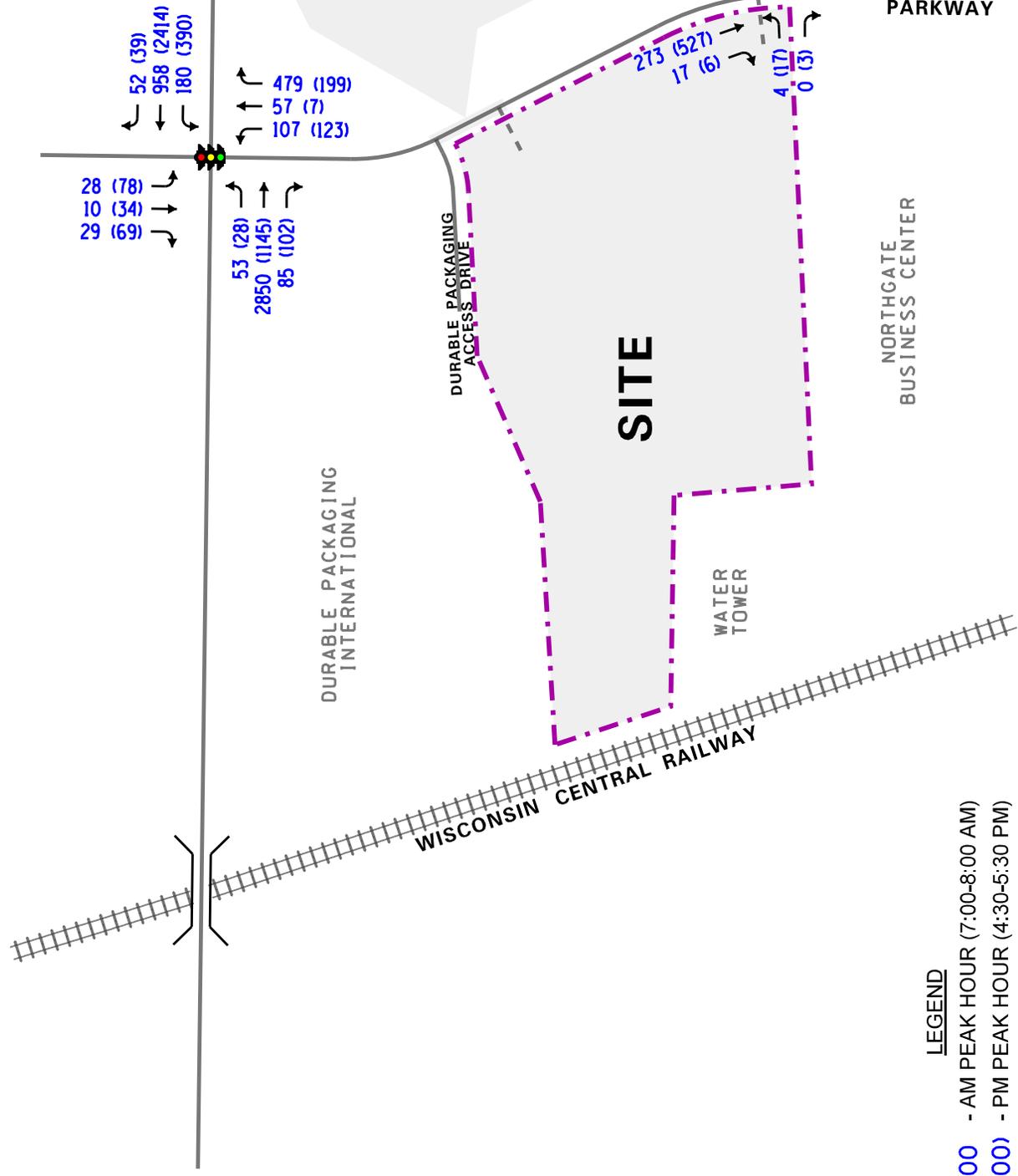
Job No: 16-214

Figure: 6B



NOT TO SCALE

LAKE COOK ROAD



LEGEND

- 00 - AM PEAK HOUR (7:00-8:00 AM)
- (00) - PM PEAK HOUR (4:30-5:30 PM)

TITLE:

Total Projected Traffic Volumes

PROJECT:

Proposed Warehouse/Distribution Center Wheeling, Illinois



Figure: 7

5. Traffic Evaluation

The following provides an evaluation conducted for the weekday morning and weekday evening peak hours. The analysis includes conducting capacity analyses to provide an indication of how well the roadway facilities will serve the anticipated traffic demands placed upon them assuming the projected Year 2022 traffic volumes.

Traffic Analyses

Roadway and adjacent or nearby intersection analyses were performed for the weekday morning and weekday evening peak periods for the existing (Year 2016) and future projected (Year 2022) traffic volumes.

The traffic analyses were performed using the methodologies outlined in the Transportation Research Board's *Highway Capacity Manual (HCM), 2010* and analyzed using Synchro 8 computer software. The analyses for the traffic-signal controlled intersections were accomplished using actual cycle lengths and phasings to determine the average overall vehicle delay and levels of service.

The analyses for the unsignalized intersections determine the average control delay to vehicles at an intersection. Control delay is the elapsed time from a vehicle joining the queue at a stop sign (includes the time required to decelerate to a stop) until its departure from the stop sign and resumption of free flow speed. The methodology analyzes each intersection approach controlled by a stop sign and considers traffic volumes on all approaches and lane characteristics.

The ability of an intersection to accommodate traffic flow is expressed in terms of level of service, which is assigned a letter from A to F based on the average control delay experienced by vehicles passing through the intersection. The *Highway Capacity Manual* definitions for levels of service and the corresponding control delay for signalized and unsignalized intersections are included in the Appendix of this report.

Summaries of the traffic analysis results showing the level of service and overall intersection delay (measured in seconds) for the existing and projected Year 2022 traffic volumes are presented in **Tables 3** and **4**. A discussion of the intersections follows. It should be noted that truck percentages were adjusted to reflect the anticipated increase in truck traffic as a result of the proposed development. Summary sheets for the capacity analyses are included in the Appendix.

Table 3

INTERSECTION LEVEL OF SERVICE AND DELAY – EXISTING CONDITIONS

| Intersection | Morning Peak Hour | | Evening Peak Hour | |
|--|----------------------|-------|----------------------|-------|
| | LOS | Delay | LOS | Delay |
| Lake Cook Road with Northgate Parkway¹ | | | | |
| • Overall | C | 32.6 | B | 16.3 |
| • Eastbound Approach | C | 33.9 | B | 14.6 |
| • Westbound Approach | B | 18.0 | B | 14.3 |
| • Northbound Approach | D | 54.0 | C | 29.5 |
| • Southbound Approach | C | 29.9 | D | 39.4 |
| Northgate Parkway with Durable Packaging Access Drive² | | | | |
| • Eastbound Approach | C | 16.0 | B | 13.4 |
| • Northbound Left Turn | A | 0.1 | A | 0.0 |
| LOS - Level of Service Delay is measured in seconds. | | | | |
| ¹ Signalized Intersection | | | | |
| ² Unsignalized Intersection | | | | |

Table 4

INTERSECTION LEVEL OF SERVICE AND DELAY – FUTURE CONDITIONS

| Intersection | Morning Peak Hour | | Evening Peak Hour | |
|--|----------------------|-------|----------------------|-------|
| | LOS | Delay | LOS | Delay |
| Lake Cook Road with Northgate Parkway¹ | | | | |
| • Overall | D | 38.1 | C | 20.9 |
| • Eastbound Approach | D | 38.2 | B | 18.1 |
| • Westbound Approach | C | 26.7 | B | 18.9 |
| • Northbound Approach | E | 59.6 | D | 38.1 |
| • Southbound Approach | C | 29.6 | D | 39.1 |
| Northgate Parkway with Durable Packaging Access Drive² | | | | |
| • Eastbound Approach | C | 19.3 | C | 15.6 |
| • Northbound Left Turn | A | 0.3 | A | 0.1 |
| Northgate Parkway with North Access Drive² | | | | |
| • Eastbound Approach | C | 16.6 | C | 16.5 |
| • Northbound Left Turn | A | 0.1 | A | 0.0 |
| Northgate Parkway with South Access Drive² | | | | |
| • Eastbound Approach | C | 24.0 | C | 21.1 |
| • Northbound Left Turn | A | 0.1 | A | 0.1 |
| LOS - Level of Service | | | | |
| Delay is measured in seconds. | | | | |
| ¹ Signalized Intersection | | | | |
| ² Unsignalized Intersection | | | | |

Results of the Capacity Analyses

The following summarizes the results of the capacity analyses:

Lake Cook Road with Northgate Parkway

The results of the capacity analyses indicate that this intersection is currently operating at a good Level of Service (LOS) C or better during the weekday morning and evening peak hours. It should be noted that during the morning peak hour, the northbound approach is experiencing longer delays primarily due to the high volume of northbound right-turn movements. Based on traffic observations, northbound traffic queues occasionally extend past the Durable Packaging access drive but generally clear within one to two cycles. Under future conditions, this intersection is expected to operate at an acceptable LOS D or better during the weekday morning and evening peak hours although northbound right-turn traffic queues are expected to increase primarily due to background growth. As such, the intersection will have sufficient reserve capacity to accommodate the additional traffic to be generated by the development.

Northgate Parkway with Durable Packaging Access Drive

The results of the capacity analyses indicate that the critical movements at this intersection are currently operating at a good LOS C or better during the weekday morning and evening peak hours. Under future conditions, the critical movements at this intersection are expected to continue operating at a good LOS C or better during both peak hours. As such, the intersection will have sufficient reserve capacity to accommodate the additional traffic to be generated by the development.

Northgate Parkway with North Access Drive

This access drive is proposed to be located on the west side of Northgate Parkway at the north end of the site and approximately 125 feet (centerline to centerline) south of the Durable Packaging access drive. As proposed, this access drive will provide full movement access to the development restricted to passenger vehicles only. The access drive will provide one inbound lane and one outbound lane under stop sign control. The results of the capacity analyses indicate that the critical movements at this intersection, including the northbound left turns which will be accommodated by the existing striped median, are projected to operate at a good LOS C or better during both peak hours.

Northgate Parkway with South Access Drive

This access drive is proposed to be located on the west side of Northgate Parkway at the south end of the site approximately 425 feet south of the north access drive opposite the Wieland Metals middle access drive and will provide full movement access to the development for both passenger vehicles and trucks. The access drive will provide one inbound lane and one outbound lane under stop sign control. In addition, this access drive will be designed with larger radii in order to accommodate the turning truck traffic. The results of the capacity analyses indicate that the critical movements at the intersection are projected to operate at a good LOS C or better during both peak hours.

6. Conclusion

Based on the preceding analyses and recommendations, the following conclusions have been determined:

- The proposed facility will not generate a significant amount of vehicular or truck traffic.
- The results of the capacity analyses show that the existing roadway system generally has sufficient reserve capacity to accommodate the additional traffic to be generated by the proposed development.
- The proposed access system will be adequate in accommodating both passenger vehicle and truck traffic.
- Providing two access drives, one designated for passenger vehicles and the other designated for trucks, will ensure that safe access and on-site circulation are provided.

Appendix

**Traffic Count Summary Sheets
Preliminary Site Plan
Year 2040 CMAP Letter
Level of Service Criteria
Capacity Analysis Summary Sheets**

Traffic Count Summary Sheets

*Warehouse/Distribution Facility
Wheeling, Illinois*





Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Lake Cook Road and Northgate Parkway
Site Code:
Start Date: 09/07/2016
Page No: 1

Turning Movement Data

| Start Time | Lake Cook Road Eastbound | | | | | | Lake Cook Road Westbound | | | | | | Northgate Parkway Northbound | | | | | | Northgate Parkway Southbound | | | | | | Int. Total |
|---------------|--------------------------|------|-------|-------|------|------------|--------------------------|------|------|-------|------|------------|------------------------------|------|------|-------|------|------------|------------------------------|------|------|-------|------|------------|------------|
| | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | |
| 6:00 AM | 0 | 9 | 335 | 18 | 0 | 362 | 0 | 27 | 78 | 11 | 0 | 116 | 0 | 8 | 5 | 28 | 0 | 41 | 0 | 2 | 4 | 7 | 0 | 13 | 532 |
| 6:15 AM | 0 | 24 | 430 | 22 | 0 | 476 | 0 | 39 | 152 | 11 | 0 | 202 | 0 | 8 | 8 | 37 | 0 | 53 | 0 | 0 | 2 | 4 | 0 | 6 | 737 |
| 6:30 AM | 0 | 8 | 571 | 44 | 0 | 623 | 0 | 47 | 166 | 16 | 0 | 229 | 0 | 18 | 5 | 60 | 0 | 83 | 0 | 3 | 3 | 3 | 0 | 9 | 944 |
| 6:45 AM | 0 | 14 | 577 | 33 | 0 | 624 | 0 | 50 | 219 | 9 | 0 | 278 | 0 | 19 | 5 | 60 | 0 | 84 | 0 | 9 | 1 | 10 | 0 | 20 | 1006 |
| Hourly Total | 0 | 55 | 1913 | 117 | 0 | 2085 | 0 | 163 | 615 | 47 | 0 | 825 | 0 | 53 | 23 | 185 | 0 | 261 | 0 | 14 | 10 | 24 | 0 | 48 | 3219 |
| 7:00 AM | 0 | 21 | 644 | 21 | 1 | 686 | 0 | 42 | 198 | 14 | 0 | 254 | 0 | 33 | 14 | 99 | 0 | 146 | 0 | 8 | 4 | 5 | 1 | 17 | 1103 |
| 7:15 AM | 0 | 13 | 683 | 7 | 0 | 703 | 0 | 36 | 232 | 12 | 0 | 280 | 0 | 23 | 16 | 102 | 0 | 141 | 0 | 5 | 5 | 8 | 0 | 18 | 1142 |
| 7:30 AM | 0 | 11 | 795 | 14 | 1 | 820 | 0 | 26 | 228 | 13 | 0 | 267 | 0 | 9 | 7 | 100 | 0 | 116 | 0 | 7 | 0 | 11 | 1 | 18 | 1221 |
| 7:45 AM | 0 | 8 | 605 | 13 | 0 | 626 | 0 | 33 | 259 | 13 | 0 | 305 | 0 | 17 | 20 | 141 | 0 | 178 | 0 | 8 | 1 | 5 | 0 | 14 | 1123 |
| Hourly Total | 0 | 53 | 2727 | 55 | 2 | 2835 | 0 | 137 | 917 | 52 | 0 | 1106 | 0 | 82 | 57 | 442 | 0 | 581 | 0 | 28 | 10 | 29 | 2 | 67 | 4589 |
| 8:00 AM | 0 | 8 | 707 | 12 | 0 | 727 | 0 | 27 | 207 | 8 | 0 | 242 | 0 | 13 | 4 | 124 | 0 | 141 | 0 | 10 | 1 | 3 | 0 | 14 | 1124 |
| 8:15 AM | 0 | 16 | 572 | 12 | 0 | 600 | 0 | 28 | 213 | 4 | 0 | 245 | 0 | 18 | 11 | 106 | 0 | 135 | 0 | 6 | 3 | 6 | 0 | 15 | 995 |
| 8:30 AM | 0 | 7 | 511 | 13 | 0 | 531 | 0 | 22 | 296 | 8 | 0 | 326 | 0 | 11 | 1 | 127 | 0 | 139 | 0 | 8 | 1 | 8 | 0 | 17 | 1013 |
| 8:45 AM | 1 | 16 | 524 | 14 | 0 | 555 | 0 | 26 | 243 | 2 | 0 | 271 | 0 | 14 | 3 | 104 | 0 | 121 | 0 | 12 | 1 | 5 | 0 | 18 | 965 |
| Hourly Total | 1 | 47 | 2314 | 51 | 0 | 2413 | 0 | 103 | 959 | 22 | 0 | 1084 | 0 | 56 | 19 | 461 | 0 | 536 | 0 | 36 | 6 | 22 | 0 | 64 | 4097 |
| *** BREAK *** | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - |
| 3:30 PM | 1 | 1 | 268 | 27 | 0 | 297 | 0 | 52 | 468 | 1 | 0 | 521 | 0 | 21 | 6 | 38 | 0 | 65 | 0 | 30 | 10 | 23 | 0 | 63 | 946 |
| 3:45 PM | 0 | 10 | 315 | 21 | 0 | 346 | 0 | 46 | 459 | 5 | 0 | 510 | 0 | 18 | 3 | 46 | 0 | 67 | 0 | 5 | 1 | 15 | 0 | 21 | 944 |
| Hourly Total | 1 | 11 | 583 | 48 | 0 | 643 | 0 | 98 | 927 | 6 | 0 | 1031 | 0 | 39 | 9 | 84 | 0 | 132 | 0 | 35 | 11 | 38 | 0 | 84 | 1890 |
| 4:00 PM | 0 | 2 | 306 | 23 | 0 | 331 | 0 | 68 | 484 | 5 | 0 | 557 | 0 | 17 | 2 | 49 | 0 | 68 | 0 | 30 | 16 | 49 | 0 | 95 | 1051 |
| 4:15 PM | 0 | 6 | 309 | 15 | 0 | 330 | 0 | 60 | 550 | 11 | 0 | 621 | 0 | 19 | 5 | 33 | 0 | 57 | 0 | 18 | 4 | 14 | 0 | 36 | 1044 |
| 4:30 PM | 0 | 10 | 256 | 18 | 0 | 284 | 0 | 81 | 528 | 9 | 0 | 618 | 0 | 19 | 0 | 52 | 1 | 71 | 0 | 17 | 7 | 21 | 0 | 45 | 1018 |
| 4:45 PM | 0 | 7 | 274 | 17 | 0 | 298 | 0 | 96 | 553 | 9 | 0 | 658 | 0 | 18 | 0 | 24 | 0 | 42 | 0 | 20 | 8 | 18 | 0 | 46 | 1044 |
| Hourly Total | 0 | 25 | 1145 | 73 | 0 | 1243 | 0 | 305 | 2115 | 34 | 0 | 2454 | 0 | 73 | 7 | 158 | 1 | 238 | 0 | 85 | 35 | 102 | 0 | 222 | 4157 |
| 5:00 PM | 0 | 5 | 286 | 16 | 0 | 307 | 0 | 83 | 594 | 12 | 0 | 689 | 0 | 21 | 3 | 38 | 0 | 62 | 0 | 30 | 16 | 20 | 0 | 66 | 1124 |
| 5:15 PM | 0 | 6 | 280 | 14 | 1 | 300 | 0 | 84 | 635 | 9 | 1 | 728 | 0 | 28 | 4 | 32 | 0 | 64 | 0 | 11 | 3 | 10 | 0 | 24 | 1116 |
| 5:30 PM | 0 | 10 | 278 | 21 | 0 | 309 | 0 | 70 | 526 | 7 | 0 | 603 | 0 | 22 | 2 | 36 | 0 | 60 | 0 | 16 | 10 | 22 | 0 | 48 | 1020 |
| 5:45 PM | 0 | 10 | 278 | 20 | 0 | 308 | 2 | 58 | 500 | 13 | 0 | 573 | 0 | 24 | 4 | 24 | 0 | 52 | 0 | 23 | 4 | 5 | 0 | 32 | 965 |
| Hourly Total | 0 | 31 | 1122 | 71 | 1 | 1224 | 2 | 295 | 2255 | 41 | 1 | 2593 | 0 | 95 | 13 | 130 | 0 | 238 | 0 | 80 | 33 | 57 | 0 | 170 | 4225 |
| 6:00 PM | 0 | 5 | 262 | 23 | 0 | 290 | 0 | 43 | 500 | 11 | 0 | 554 | 0 | 22 | 1 | 20 | 0 | 43 | 0 | 21 | 7 | 14 | 0 | 42 | 929 |
| 6:15 PM | 0 | 4 | 215 | 17 | 0 | 236 | 0 | 55 | 421 | 4 | 0 | 480 | 0 | 22 | 3 | 26 | 0 | 51 | 0 | 7 | 5 | 12 | 0 | 24 | 791 |
| Grand Total | 2 | 231 | 10281 | 455 | 3 | 10969 | 2 | 1199 | 8709 | 217 | 1 | 10127 | 0 | 442 | 132 | 1506 | 1 | 2080 | 0 | 306 | 117 | 298 | 2 | 721 | 23897 |
| Approach % | 0.0 | 2.1 | 93.7 | 4.1 | - | - | 0.0 | 11.8 | 86.0 | 2.1 | - | - | 0.0 | 21.3 | 6.3 | 72.4 | - | - | 0.0 | 42.4 | 16.2 | 41.3 | - | - | - |
| Total % | 0.0 | 1.0 | 43.0 | 1.9 | - | 45.9 | 0.0 | 5.0 | 36.4 | 0.9 | - | 42.4 | 0.0 | 1.8 | 0.6 | 6.3 | - | 8.7 | 0.0 | 1.3 | 0.5 | 1.2 | - | 3.0 | - |
| Lights | 2 | 224 | 10038 | 438 | - | 10702 | 2 | 1160 | 8505 | 204 | - | 9871 | 0 | 427 | 125 | 1446 | - | 1998 | 0 | 287 | 110 | 281 | - | 678 | 23249 |
| % Lights | 100.0 | 97.0 | 97.6 | 96.3 | - | 97.6 | 100.0 | 96.7 | 97.7 | 94.0 | - | 97.5 | - | 96.6 | 94.7 | 96.0 | - | 96.1 | - | 93.8 | 94.0 | 94.3 | - | 94.0 | 97.3 |
| Buses | 0 | 1 | 17 | 3 | - | 21 | 0 | 2 | 15 | 0 | - | 17 | 0 | 0 | 0 | 1 | - | 1 | 0 | 2 | 0 | 5 | - | 7 | 46 |

| | | | | | | | | | | | | | | | | | | | | | | | | | |
|----------------------|-----|-----|-----|-----|-------|-----|-----|-----|-----|-----|-------|-----|---|-----|-----|-----|-------|-----|---|-----|-----|-----|-------|-----|-----|
| % Buses | 0.0 | 0.4 | 0.2 | 0.7 | - | 0.2 | 0.0 | 0.2 | 0.2 | 0.0 | - | 0.2 | - | 0.0 | 0.0 | 0.1 | - | 0.0 | - | 0.7 | 0.0 | 1.7 | - | 1.0 | 0.2 |
| Single-Unit Trucks | 0 | 2 | 153 | 8 | - | 163 | 0 | 13 | 128 | 5 | - | 146 | 0 | 7 | 2 | 35 | - | 44 | 0 | 6 | 3 | 7 | - | 16 | 369 |
| % Single-Unit Trucks | 0.0 | 0.9 | 1.5 | 1.8 | - | 1.5 | 0.0 | 1.1 | 1.5 | 2.3 | - | 1.4 | - | 1.6 | 1.5 | 2.3 | - | 2.1 | - | 2.0 | 2.6 | 2.3 | - | 2.2 | 1.5 |
| Articulated Trucks | 0 | 4 | 73 | 6 | - | 83 | 0 | 24 | 60 | 8 | - | 92 | 0 | 7 | 3 | 24 | - | 34 | 0 | 11 | 1 | 5 | - | 17 | 226 |
| % Articulated Trucks | 0.0 | 1.7 | 0.7 | 1.3 | - | 0.8 | 0.0 | 2.0 | 0.7 | 3.7 | - | 0.9 | - | 1.6 | 2.3 | 1.6 | - | 1.6 | - | 3.6 | 0.9 | 1.7 | - | 2.4 | 0.9 |
| Bicycles on Road | 0 | 0 | 0 | 0 | - | 0 | 0 | 0 | 1 | 0 | - | 1 | 0 | 1 | 2 | 0 | - | 3 | 0 | 0 | 3 | 0 | - | 3 | 7 |
| % Bicycles on Road | 0.0 | 0.0 | 0.0 | 0.0 | - | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 0.2 | 1.5 | 0.0 | - | 0.1 | - | 0.0 | 2.6 | 0.0 | - | 0.4 | 0.0 |
| Pedestrians | - | - | - | - | 3 | - | - | - | - | - | 1 | - | - | - | - | - | 1 | - | - | - | - | - | 2 | - | - |
| % Pedestrians | - | - | - | - | 100.0 | - | - | - | - | - | 100.0 | - | - | - | - | - | 100.0 | - | - | - | - | - | 100.0 | - | - |



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Lake Cook Road and Northgate
Parkway
Site Code:
Start Date: 09/07/2016
Page No: 4

Turning Movement Peak Hour Data (7:00 AM)

| Start Time | Lake Cook Road Eastbound | | | | | | Lake Cook Road Westbound | | | | | | Northgate Parkway Northbound | | | | | | Northgate Parkway Southbound | | | | | | Int. Total |
|----------------------|--------------------------|-------|-------|-------|-------|------------|--------------------------|-------|-------|-------|------|------------|------------------------------|-------|-------|-------|------|------------|------------------------------|-------|-------|-------|-------|------------|------------|
| | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | |
| 7:00 AM | 0 | 21 | 644 | 21 | 1 | 686 | 0 | 42 | 198 | 14 | 0 | 254 | 0 | 33 | 14 | 99 | 0 | 146 | 0 | 8 | 4 | 5 | 1 | 17 | 1103 |
| 7:15 AM | 0 | 13 | 683 | 7 | 0 | 703 | 0 | 36 | 232 | 12 | 0 | 280 | 0 | 23 | 16 | 102 | 0 | 141 | 0 | 5 | 5 | 8 | 0 | 18 | 1142 |
| 7:30 AM | 0 | 11 | 795 | 14 | 1 | 820 | 0 | 26 | 228 | 13 | 0 | 267 | 0 | 9 | 7 | 100 | 0 | 116 | 0 | 7 | 0 | 11 | 1 | 18 | 1221 |
| 7:45 AM | 0 | 8 | 605 | 13 | 0 | 626 | 0 | 33 | 259 | 13 | 0 | 305 | 0 | 17 | 20 | 141 | 0 | 178 | 0 | 8 | 1 | 5 | 0 | 14 | 1123 |
| Total | 0 | 53 | 2727 | 55 | 2 | 2835 | 0 | 137 | 917 | 52 | 0 | 1106 | 0 | 82 | 57 | 442 | 0 | 581 | 0 | 28 | 10 | 29 | 2 | 67 | 4589 |
| Approach % | 0.0 | 1.9 | 96.2 | 1.9 | - | - | 0.0 | 12.4 | 82.9 | 4.7 | - | - | 0.0 | 14.1 | 9.8 | 76.1 | - | - | 0.0 | 41.8 | 14.9 | 43.3 | - | - | - |
| Total % | 0.0 | 1.2 | 59.4 | 1.2 | - | 61.8 | 0.0 | 3.0 | 20.0 | 1.1 | - | 24.1 | 0.0 | 1.8 | 1.2 | 9.6 | - | 12.7 | 0.0 | 0.6 | 0.2 | 0.6 | - | 1.5 | - |
| PHF | 0.000 | 0.631 | 0.858 | 0.655 | - | 0.864 | 0.000 | 0.815 | 0.885 | 0.929 | - | 0.907 | 0.000 | 0.621 | 0.713 | 0.784 | - | 0.816 | 0.000 | 0.875 | 0.500 | 0.659 | - | 0.931 | 0.940 |
| Lights | 0 | 52 | 2668 | 52 | - | 2772 | 0 | 133 | 878 | 51 | - | 1062 | 0 | 78 | 57 | 423 | - | 558 | 0 | 27 | 10 | 26 | - | 63 | 4455 |
| % Lights | - | 98.1 | 97.8 | 94.5 | - | 97.8 | - | 97.1 | 95.7 | 98.1 | - | 96.0 | - | 95.1 | 100.0 | 95.7 | - | 96.0 | - | 96.4 | 100.0 | 89.7 | - | 94.0 | 97.1 |
| Buses | 0 | 0 | 5 | 0 | - | 5 | 0 | 0 | 2 | 0 | - | 2 | 0 | 0 | 0 | 0 | - | 0 | 0 | 0 | 0 | 2 | - | 2 | 9 |
| % Buses | - | 0.0 | 0.2 | 0.0 | - | 0.2 | - | 0.0 | 0.2 | 0.0 | - | 0.2 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 0.0 | 0.0 | 6.9 | - | 3.0 | 0.2 |
| Single-Unit Trucks | 0 | 0 | 40 | 1 | - | 41 | 0 | 3 | 24 | 1 | - | 28 | 0 | 1 | 0 | 11 | - | 12 | 0 | 1 | 0 | 1 | - | 2 | 83 |
| % Single-Unit Trucks | - | 0.0 | 1.5 | 1.8 | - | 1.4 | - | 2.2 | 2.6 | 1.9 | - | 2.5 | - | 1.2 | 0.0 | 2.5 | - | 2.1 | - | 3.6 | 0.0 | 3.4 | - | 3.0 | 1.8 |
| Articulated Trucks | 0 | 1 | 14 | 2 | - | 17 | 0 | 1 | 13 | 0 | - | 14 | 0 | 3 | 0 | 8 | - | 11 | 0 | 0 | 0 | 0 | - | 0 | 42 |
| % Articulated Trucks | - | 1.9 | 0.5 | 3.6 | - | 0.6 | - | 0.7 | 1.4 | 0.0 | - | 1.3 | - | 3.7 | 0.0 | 1.8 | - | 1.9 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | 0.9 |
| Bicycles on Road | 0 | 0 | 0 | 0 | - | 0 | 0 | 0 | 0 | 0 | - | 0 | 0 | 0 | 0 | 0 | - | 0 | 0 | 0 | 0 | 0 | - | 0 | 0 |
| % Bicycles on Road | - | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | 0.0 |
| Pedestrians | - | - | - | - | 2 | - | - | - | - | - | 0 | - | - | - | - | - | 0 | - | - | - | - | - | 2 | - | - |
| % Pedestrians | - | - | - | - | 100.0 | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | 100.0 | - | - |



Kenig Lindgren O'Hara Aboona, Inc.
9575 W. Higgins Rd., Suite 400

Rosemont, Illinois, United States 60018
(847)518-9990

Count Name: Lake Cook Road and Northgate
Parkway
Site Code:
Start Date: 09/07/2016
Page No: 6

Turning Movement Peak Hour Data (4:30 PM)

| Start Time | Lake Cook Road Eastbound | | | | | | Lake Cook Road Westbound | | | | | | Northgate Parkway Northbound | | | | | | Northgate Parkway Southbound | | | | | | Int. Total |
|----------------------|--------------------------|-------|-------|-------|-------|------------|--------------------------|-------|-------|-------|-------|------------|------------------------------|-------|-------|-------|-------|------------|------------------------------|-------|-------|-------|------|------------|------------|
| | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | U-Turn | Left | Thru | Right | Peds | App. Total | |
| 4:30 PM | 0 | 10 | 256 | 18 | 0 | 284 | 0 | 81 | 528 | 9 | 0 | 618 | 0 | 19 | 0 | 52 | 1 | 71 | 0 | 17 | 7 | 21 | 0 | 45 | 1018 |
| 4:45 PM | 0 | 7 | 274 | 17 | 0 | 298 | 0 | 96 | 553 | 9 | 0 | 658 | 0 | 18 | 0 | 24 | 0 | 42 | 0 | 20 | 8 | 18 | 0 | 46 | 1044 |
| 5:00 PM | 0 | 5 | 286 | 16 | 0 | 307 | 0 | 83 | 594 | 12 | 0 | 689 | 0 | 21 | 3 | 38 | 0 | 62 | 0 | 30 | 16 | 20 | 0 | 66 | 1124 |
| 5:15 PM | 0 | 6 | 280 | 14 | 1 | 300 | 0 | 84 | 635 | 9 | 1 | 728 | 0 | 28 | 4 | 32 | 0 | 64 | 0 | 11 | 3 | 10 | 0 | 24 | 1116 |
| Total | 0 | 28 | 1096 | 65 | 1 | 1189 | 0 | 344 | 2310 | 39 | 1 | 2693 | 0 | 86 | 7 | 146 | 1 | 239 | 0 | 78 | 34 | 69 | 0 | 181 | 4302 |
| Approach % | 0.0 | 2.4 | 92.2 | 5.5 | - | - | 0.0 | 12.8 | 85.8 | 1.4 | - | - | 0.0 | 36.0 | 2.9 | 61.1 | - | - | 0.0 | 43.1 | 18.8 | 38.1 | - | - | - |
| Total % | 0.0 | 0.7 | 25.5 | 1.5 | - | 27.6 | 0.0 | 8.0 | 53.7 | 0.9 | - | 62.6 | 0.0 | 2.0 | 0.2 | 3.4 | - | 5.6 | 0.0 | 1.8 | 0.8 | 1.6 | - | 4.2 | - |
| PHF | 0.000 | 0.700 | 0.958 | 0.903 | - | 0.968 | 0.000 | 0.896 | 0.909 | 0.813 | - | 0.925 | 0.000 | 0.768 | 0.438 | 0.702 | - | 0.842 | 0.000 | 0.650 | 0.531 | 0.821 | - | 0.686 | 0.957 |
| Lights | 0 | 27 | 1073 | 63 | - | 1163 | 0 | 335 | 2290 | 31 | - | 2656 | 0 | 86 | 6 | 140 | - | 232 | 0 | 75 | 32 | 64 | - | 171 | 4222 |
| % Lights | - | 96.4 | 97.9 | 96.9 | - | 97.8 | - | 97.4 | 99.1 | 79.5 | - | 98.6 | - | 100.0 | 85.7 | 95.9 | - | 97.1 | - | 96.2 | 94.1 | 92.8 | - | 94.5 | 98.1 |
| Buses | 0 | 0 | 2 | 1 | - | 3 | 0 | 1 | 1 | 0 | - | 2 | 0 | 0 | 0 | 0 | - | 0 | 0 | 1 | 0 | 1 | - | 2 | 7 |
| % Buses | - | 0.0 | 0.2 | 1.5 | - | 0.3 | - | 0.3 | 0.0 | 0.0 | - | 0.1 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 1.3 | 0.0 | 1.4 | - | 1.1 | 0.2 |
| Single-Unit Trucks | 0 | 0 | 10 | 1 | - | 11 | 0 | 3 | 12 | 3 | - | 18 | 0 | 0 | 0 | 3 | - | 3 | 0 | 0 | 1 | 2 | - | 3 | 35 |
| % Single-Unit Trucks | - | 0.0 | 0.9 | 1.5 | - | 0.9 | - | 0.9 | 0.5 | 7.7 | - | 0.7 | - | 0.0 | 0.0 | 2.1 | - | 1.3 | - | 0.0 | 2.9 | 2.9 | - | 1.7 | 0.8 |
| Articulated Trucks | 0 | 1 | 11 | 0 | - | 12 | 0 | 5 | 7 | 5 | - | 17 | 0 | 0 | 1 | 3 | - | 4 | 0 | 2 | 1 | 2 | - | 5 | 38 |
| % Articulated Trucks | - | 3.6 | 1.0 | 0.0 | - | 1.0 | - | 1.5 | 0.3 | 12.8 | - | 0.6 | - | 0.0 | 14.3 | 2.1 | - | 1.7 | - | 2.6 | 2.9 | 2.9 | - | 2.8 | 0.9 |
| Bicycles on Road | 0 | 0 | 0 | 0 | - | 0 | 0 | 0 | 0 | 0 | - | 0 | 0 | 0 | 0 | 0 | - | 0 | 0 | 0 | 0 | 0 | - | 0 | 0 |
| % Bicycles on Road | - | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | - | 0.0 | 0.0 | 0.0 | - | 0.0 | 0.0 |
| Pedestrians | - | - | - | - | 1 | - | - | - | - | - | 1 | - | - | - | - | - | 1 | - | - | - | - | - | 0 | - | - |
| % Pedestrians | - | - | - | - | 100.0 | - | - | - | - | - | 100.0 | - | - | - | - | - | 100.0 | - | - | - | - | - | - | - | - |



Kenig Lindgren O'Hara Aboona, Inc.
 9575 W. Higgins Rd., Suite 400
 Rosemont, Illinois, United States 60018
 (847)518-9990

Count Name: Northgate Parkway and Durable
 Packaging Access Drive
 Site Code:
 Start Date: 09/07/2016
 Page No: 1

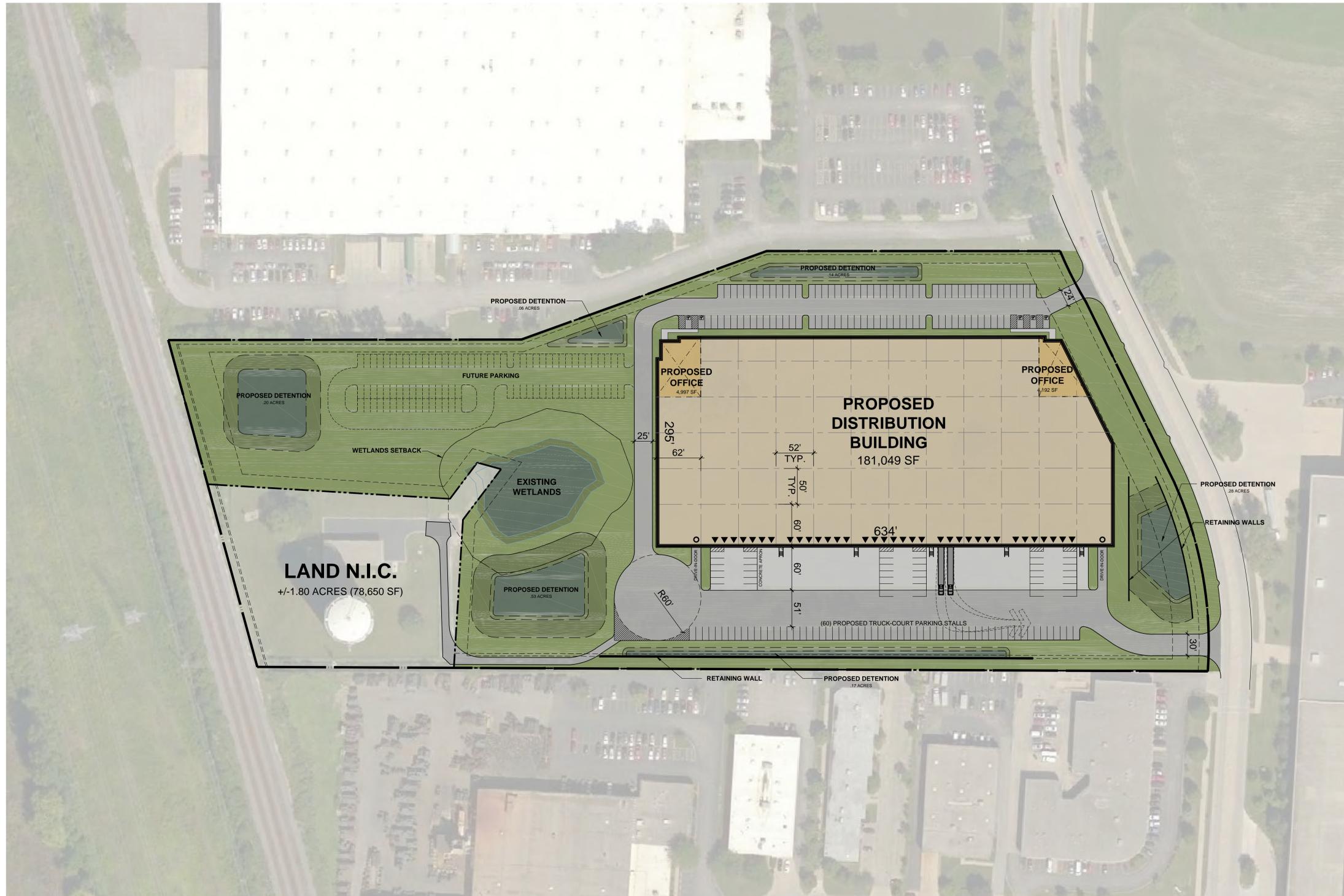
Turning Movement Data

| Start Time | Durable Packaging Access Drive Eastbound | | | | | Northgate Parkway Northbound | | | | | Northgate Parkway Southbound | | | | | Int. Total |
|---------------|---|------|-------|------|------------|---------------------------------|------|------|------|------------|---------------------------------|------|-------|------|------------|------------|
| | U-Turn | Left | Right | Peds | App. Total | U-Turn | Left | Thru | Peds | App. Total | U-Turn | Thru | Right | Peds | App. Total | |
| 6:00 AM | 0 | 1 | 1 | 0 | 2 | 0 | 1 | 47 | 0 | 48 | 1 | 27 | 16 | 0 | 44 | 94 |
| 6:15 AM | 0 | 2 | 1 | 0 | 3 | 0 | 13 | 49 | 0 | 62 | 0 | 41 | 34 | 0 | 75 | 140 |
| 6:30 AM | 0 | 2 | 8 | 1 | 10 | 0 | 40 | 83 | 0 | 123 | 0 | 49 | 46 | 0 | 95 | 228 |
| 6:45 AM | 0 | 2 | 7 | 0 | 9 | 0 | 32 | 88 | 0 | 120 | 0 | 54 | 28 | 0 | 82 | 211 |
| Hourly Total | 0 | 7 | 17 | 1 | 24 | 0 | 86 | 267 | 0 | 353 | 1 | 171 | 124 | 0 | 296 | 673 |
| 7:00 AM | 0 | 33 | 40 | 0 | 73 | 0 | 3 | 116 | 0 | 119 | 0 | 52 | 6 | 0 | 58 | 250 |
| 7:15 AM | 0 | 10 | 6 | 0 | 16 | 0 | 3 | 122 | 0 | 125 | 0 | 42 | 3 | 0 | 45 | 186 |
| 7:30 AM | 0 | 1 | 0 | 1 | 1 | 0 | 1 | 147 | 0 | 148 | 0 | 43 | 1 | 0 | 44 | 193 |
| 7:45 AM | 0 | 5 | 0 | 0 | 5 | 1 | 2 | 155 | 0 | 158 | 1 | 42 | 2 | 0 | 45 | 208 |
| Hourly Total | 0 | 49 | 46 | 1 | 95 | 1 | 9 | 540 | 0 | 550 | 1 | 179 | 12 | 0 | 192 | 837 |
| 8:00 AM | 0 | 1 | 2 | 0 | 3 | 0 | 0 | 144 | 0 | 144 | 0 | 40 | 6 | 0 | 46 | 193 |
| 8:15 AM | 0 | 0 | 3 | 0 | 3 | 0 | 4 | 133 | 0 | 137 | 0 | 37 | 3 | 0 | 40 | 180 |
| 8:30 AM | 0 | 1 | 1 | 0 | 2 | 0 | 3 | 132 | 0 | 135 | 0 | 31 | 1 | 0 | 32 | 169 |
| 8:45 AM | 0 | 2 | 0 | 0 | 2 | 0 | 3 | 119 | 0 | 122 | 0 | 40 | 1 | 0 | 41 | 165 |
| Hourly Total | 0 | 4 | 6 | 0 | 10 | 0 | 10 | 528 | 0 | 538 | 0 | 148 | 11 | 0 | 159 | 707 |
| *** BREAK *** | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - | - |
| 3:30 PM | 0 | 18 | 18 | 0 | 36 | 0 | 4 | 38 | 0 | 42 | 0 | 86 | 1 | 0 | 87 | 165 |
| 3:45 PM | 0 | 3 | 4 | 0 | 7 | 0 | 2 | 78 | 0 | 80 | 0 | 72 | 0 | 0 | 72 | 159 |
| Hourly Total | 0 | 21 | 22 | 0 | 43 | 0 | 6 | 116 | 0 | 122 | 0 | 158 | 1 | 0 | 159 | 324 |
| 4:00 PM | 0 | 4 | 1 | 0 | 5 | 0 | 0 | 54 | 0 | 54 | 0 | 121 | 1 | 0 | 122 | 181 |
| 4:15 PM | 0 | 2 | 0 | 1 | 2 | 1 | 0 | 54 | 0 | 55 | 0 | 75 | 0 | 0 | 75 | 132 |
| 4:30 PM | 0 | 3 | 2 | 0 | 5 | 0 | 2 | 71 | 0 | 73 | 0 | 111 | 0 | 0 | 111 | 189 |
| 4:45 PM | 0 | 3 | 2 | 0 | 5 | 0 | 1 | 36 | 0 | 37 | 0 | 119 | 3 | 0 | 122 | 164 |
| Hourly Total | 0 | 12 | 5 | 1 | 17 | 1 | 3 | 215 | 0 | 219 | 0 | 426 | 4 | 0 | 430 | 666 |
| 5:00 PM | 0 | 6 | 6 | 0 | 12 | 0 | 0 | 55 | 0 | 55 | 0 | 115 | 0 | 0 | 115 | 182 |
| 5:15 PM | 0 | 3 | 3 | 0 | 6 | 0 | 0 | 64 | 0 | 64 | 0 | 101 | 0 | 0 | 101 | 171 |
| 5:30 PM | 0 | 4 | 0 | 0 | 4 | 0 | 0 | 54 | 0 | 54 | 1 | 107 | 0 | 0 | 108 | 166 |
| 5:45 PM | 0 | 0 | 1 | 0 | 1 | 0 | 1 | 51 | 0 | 52 | 0 | 71 | 0 | 0 | 71 | 124 |
| Hourly Total | 0 | 13 | 10 | 0 | 23 | 0 | 1 | 224 | 0 | 225 | 1 | 394 | 0 | 0 | 395 | 643 |
| 6:00 PM | 0 | 0 | 4 | 0 | 4 | 0 | 0 | 42 | 0 | 42 | 0 | 73 | 3 | 0 | 76 | 122 |
| 6:15 PM | 0 | 0 | 0 | 4 | 0 | 0 | 0 | 60 | 0 | 60 | 0 | 77 | 1 | 0 | 78 | 138 |
| Grand Total | 0 | 106 | 110 | 7 | 216 | 2 | 115 | 1992 | 0 | 2109 | 3 | 1626 | 156 | 0 | 1785 | 4110 |
| Approach % | 0.0 | 49.1 | 50.9 | - | - | 0.1 | 5.5 | 94.5 | - | - | 0.2 | 91.1 | 8.7 | - | - | - |
| Total % | 0.0 | 2.6 | 2.7 | - | 5.3 | 0.0 | 2.8 | 48.5 | - | 51.3 | 0.1 | 39.6 | 3.8 | - | 43.4 | - |
| Lights | 0 | 97 | 105 | - | 202 | 2 | 110 | 1921 | - | 2033 | 3 | 1567 | 147 | - | 1717 | 3952 |
| % Lights | - | 91.5 | 95.5 | - | 93.5 | 100.0 | 95.7 | 96.4 | - | 96.4 | 100.0 | 96.4 | 94.2 | - | 96.2 | 96.2 |
| Buses | 0 | 0 | 0 | - | 0 | 0 | 0 | 0 | - | 0 | 0 | 5 | 0 | - | 5 | 5 |
| % Buses | - | 0.0 | 0.0 | - | 0.0 | 0.0 | 0.0 | 0.0 | - | 0.0 | 0.0 | 0.3 | 0.0 | - | 0.3 | 0.1 |

Preliminary Site Plan

*Warehouse/Distribution Facility
Wheeling, Illinois*





PROJECT DATA:

SITE AREA:
 GROSS: 13.95 AC (607,585 SF)
 DETENTION: 1.57 AC (68,431 SF) @ 11%
 NET: 12.4 AC (539,154 SF)
 (LESS WETLANDS, DETENTION & AREA N.I.C.)

TOTAL BUILDING AREA: 181,049 SF

COVERAGE: 33.58% (NET)

PARKING REQUIRED: 272 STALLS
 1.5/1000 SF
 (25% REDUCTION FOR BUILDINGS
 IN EXCESS OF 80,000 SF)

PARKING PROPOSED: 197 STALLS
 @1.09/1000 SF

WITH LANDBANK: 287 STALLS
 @1.59/1000 SF

TRUCK - COURT: 100 STALLS

DRIVE-IN DOORS: 2 POSITIONS

DOCK DOORS: 35 POSITIONS

SITE LEGEND:

- ◀ DOCK HIGH TRUCK DOOR
- GRADE LEVEL TRUCK DOOR

Year 2040 CMAP Letter

*Warehouse/Distribution Facility
Wheeling, Illinois*





Chicago Metropolitan Agency for Planning

233 South Wacker Drive
Suite 800
Chicago, Illinois 60606
312 454 0400
www.cmap.illinois.gov

September 16, 2016

Nicholas J. Butler
Consultant
Kenig, Lindgren, O'Hara and Aboona, Inc.
9575 West Higgins Road
Suite 400
Rosemont, IL 60018

Subject: Lake Cook Road @ Northgate Parkway
Cook County DOT

Dear Mr. Butler:

In response to a request made on your behalf and dated September 16, 2016, we have developed year 2040 average daily traffic (ADT) projections for the subject location.

| ROAD SEGMENT | Year 2014 ADT | Year 2040 ADT |
|-------------------------------------|---------------|---------------|
| Lake Cook Rd east of Northgate Pkwy | 39,400 | 45,500 |
| Lake Cook Rd west of Northgate Pkwy | 37,200 | 44,200 |

Traffic projections are developed using existing ADT data provided in the request letter and the results from the March 2016 CMAP Travel Demand Analysis. The regional travel model uses CMAP 2040 socioeconomic projections and assumes the implementation of the GO TO 2040 Comprehensive Regional Plan for the Northeastern Illinois area.

If you have any questions, please call me at (312) 386-8806.

Sincerely,

Jose Rodriguez, PTP, AICP
Senior Planner, Research & Analysis

cc: Yonan (Cook County DOT)
S:\AdminGroups\ResearchAnalysis\SmallAreaTrafficForecasts_CY16\Wheeling\ck-73-16\ck-73-16 docx

Level of Service Criteria

*Warehouse/Distribution Facility
Wheeling, Illinois*



LEVEL OF SERVICE CRITERIA

Signalized Intersections

| Level of Service | Interpretation | Average Control Delay (seconds per vehicle) |
|------------------|--|---|
| A | Favorable progression. Most vehicles arrive during the green indication and travel through the intersection without stopping. | ≤10 |
| B | Good progression, with more vehicles stopping than for Level of Service A. | >10 - 20 |
| C | Individual cycle failures (i.e., one or more queued vehicles are not able to depart as a result of insufficient capacity during the cycle) may begin to appear. Number of vehicles stopping is significant, although many vehicles still pass through the intersection without stopping. | >20 - 35 |
| D | The volume-to-capacity ratio is high and either progression is ineffective or the cycle length is too long. Many vehicles stop and individual cycle failures are noticeable. | >35 - 55 |
| E | Progression is unfavorable. The volume-to-capacity ratio is high and the cycle length is long. Individual cycle failures are frequent. | >55 - 80 |
| F | The volume-to-capacity ratio is very high, progression is very poor and the cycle length is long. Most cycles fail to clear the queue. | >80.0 |

Unsignalized Intersections

| Level of Service | Average Total Delay (SEC/VEH) |
|------------------|-------------------------------|
| A | 0 - 10 |
| B | > 10 - 15 |
| C | > 15 - 25 |
| D | > 25 - 35 |
| E | > 35 - 50 |
| F | > 50 |

Source: *Highway Capacity Manual*, 2010.

Capacity Analysis Summary Sheets

*Warehouse/Distribution Facility
Wheeling, Illinois*



Lanes, Volumes, Timings 3: Northgate Parkway & Lake Cook Road

9/22/2016



| Lane Group | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|-------------------------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| Lane Configurations | ↘ | ↑↑↑ | ↗ | ↘ | ↑↑↑ | ↗ | ↘ | ↑ | ↗ | ↘ | ↑ | ↗ |
| Volume (vph) | 53 | 2727 | 55 | 137 | 917 | 52 | 82 | 57 | 450 | 28 | 10 | 29 |
| Ideal Flow (vphpl) | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 |
| Storage Length (ft) | 210 | | 235 | 235 | | 235 | 140 | | 140 | 0 | | 0 |
| Storage Lanes | 1 | | 1 | 1 | | 1 | 1 | | 1 | 1 | | 1 |
| Taper Length (ft) | 160 | | | 175 | | | 160 | | | 70 | | |
| Lane Util. Factor | 1.00 | 0.91 | 1.00 | 1.00 | 0.91 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| Frt | | | 0.850 | | | 0.850 | | | 0.850 | | | 0.850 |
| Flt Protected | 0.950 | | | 0.950 | | | 0.950 | | | 0.950 | | |
| Satd. Flow (prot) | 1770 | 5353 | 1538 | 1752 | 5250 | 1583 | 1719 | 2000 | 1553 | 1736 | 2000 | 1468 |
| Flt Permitted | 0.270 | | | 0.049 | | | 0.516 | | | 0.717 | | |
| Satd. Flow (perm) | 503 | 5353 | 1538 | 90 | 5250 | 1583 | 934 | 2000 | 1553 | 1310 | 2000 | 1468 |
| Right Turn on Red | | | Yes | | | Yes | | | Yes | | | Yes |
| Satd. Flow (RTOR) | | | 51 | | | 55 | | | 119 | | | 51 |
| Link Speed (mph) | | 45 | | | 45 | | | 30 | | | | 30 |
| Link Distance (ft) | | 1186 | | | 1274 | | | 454 | | | | 346 |
| Travel Time (s) | | 18.0 | | | 19.3 | | | 10.3 | | | | 7.9 |
| Peak Hour Factor | 0.94 | 0.94 | 0.94 | 0.94 | 0.94 | 0.94 | 0.94 | 0.94 | 0.94 | 0.94 | 0.94 | 0.94 |
| Heavy Vehicles (%) | 2% | 2% | 5% | 3% | 4% | 2% | 5% | 0% | 4% | 4% | 0% | 10% |
| Shared Lane Traffic (%) | | | | | | | | | | | | |
| Lane Group Flow (vph) | 56 | 2901 | 59 | 146 | 976 | 55 | 87 | 61 | 479 | 30 | 11 | 31 |
| Turn Type | pm+pt | NA | pm+ov |
| Protected Phases | 5 | 2 | 3 | 1 | 6 | 7 | 3 | 8 | 1 | 7 | 4 | 5 |
| Permitted Phases | 2 | | 2 | 6 | | 6 | 8 | | 8 | 4 | | 4 |
| Detector Phase | 5 | 2 | 3 | 1 | 6 | 7 | 3 | 8 | 1 | 7 | 4 | 5 |
| Switch Phase | | | | | | | | | | | | |
| Minimum Initial (s) | 3.0 | 15.0 | 3.0 | 3.0 | 15.0 | 3.0 | 3.0 | 8.0 | 3.0 | 3.0 | 8.0 | 3.0 |
| Minimum Split (s) | 7.0 | 21.0 | 7.0 | 7.0 | 21.0 | 7.0 | 7.0 | 14.0 | 7.0 | 7.0 | 14.0 | 7.0 |
| Total Split (s) | 14.0 | 83.0 | 15.0 | 14.0 | 83.0 | 15.0 | 15.0 | 28.0 | 14.0 | 15.0 | 28.0 | 14.0 |
| Total Split (%) | 10.0% | 59.3% | 10.7% | 10.0% | 59.3% | 10.7% | 10.7% | 20.0% | 10.0% | 10.7% | 20.0% | 10.0% |
| Yellow Time (s) | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 |
| All-Red Time (s) | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 |
| Lost Time Adjust (s) | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Total Lost Time (s) | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 |
| Lead/Lag | Lead | Lag | Lead |
| Lead-Lag Optimize? | | | | | | | | | | | | |
| Recall Mode | None | Min | None | None | Min | None | None | Max | None | None | None | None |
| Act Effect Green (s) | 86.4 | 77.1 | 106.8 | 93.3 | 82.7 | 96.3 | 33.2 | 22.0 | 38.5 | 16.2 | 12.6 | 16.9 |
| Actuated g/C Ratio | 0.64 | 0.57 | 0.80 | 0.69 | 0.62 | 0.72 | 0.25 | 0.16 | 0.29 | 0.12 | 0.09 | 0.13 |
| v/c Ratio | 0.14 | 0.94 | 0.05 | 0.76 | 0.30 | 0.05 | 0.24 | 0.19 | 0.90 | 0.16 | 0.06 | 0.14 |
| Control Delay | 8.2 | 35.0 | 2.2 | 54.8 | 13.4 | 1.8 | 41.0 | 51.5 | 56.7 | 46.8 | 53.7 | 5.2 |
| Queue Delay | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Total Delay | 8.2 | 35.0 | 2.2 | 54.8 | 13.4 | 1.8 | 41.0 | 51.5 | 56.7 | 46.8 | 53.7 | 5.2 |
| LOS | A | D | A | D | B | A | D | D | E | D | D | A |
| Approach Delay | | 33.9 | | | 18.0 | | | 54.0 | | | | 29.9 |
| Approach LOS | | C | | | B | | | D | | | | C |
| Queue Length 50th (ft) | 15 | 859 | 1 | 76 | 151 | 0 | 60 | 47 | 325 | 26 | 9 | 0 |
| Queue Length 95th (ft) | 31 | #1006 | 16 | #191 | 191 | 13 | 107 | 93 | #551 | 46 | 28 | 13 |
| Internal Link Dist (ft) | | 1106 | | | 1194 | | | 374 | | | | 266 |

Lanes, Volumes, Timings

3: Northgate Parkway & Lake Cook Road

9/22/2016



| Lane Group | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|------------------------|------|------|------|------|------|------|------|------|------|------|------|------|
| Turn Bay Length (ft) | 210 | | 235 | 235 | | 235 | 140 | | 140 | | | |
| Base Capacity (vph) | 436 | 3072 | 1233 | 192 | 3232 | 1195 | 369 | 327 | 530 | 233 | 327 | 267 |
| Starvation Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Spillback Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Storage Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Reduced v/c Ratio | 0.13 | 0.94 | 0.05 | 0.76 | 0.30 | 0.05 | 0.24 | 0.19 | 0.90 | 0.13 | 0.03 | 0.12 |

Intersection Summary

Area Type: Other
 Cycle Length: 140
 Actuated Cycle Length: 134.3
 Natural Cycle: 90
 Control Type: Actuated-Uncoordinated
 Maximum v/c Ratio: 0.94
 Intersection Signal Delay: 32.6
 Intersection LOS: C
 Intersection Capacity Utilization 92.9%
 ICU Level of Service F
 Analysis Period (min) 15
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 3: Northgate Parkway & Lake Cook Road

| | | | |
|------|------|------|------|
| φ1 | φ2 | φ3 | φ4 |
| 14 s | 83 s | 15 s | 28 s |
| φ5 | φ6 | φ7 | φ8 |
| 14 s | 83 s | 15 s | 28 s |

HCM Unsignalized Intersection Capacity Analysis

2: Durable Packaging Access Drive & Northgate Parkway

9/22/2016



| Movement | EBL | EBR | NBL | NBT | SBT | SBR |
|-----------------------------------|------|------|-------|----------------------|------|------|
| Lane Configurations | | | | | | |
| Volume (veh/h) | 49 | 46 | 9 | 540 | 190 | 12 |
| Sign Control | Stop | | | Free | Free | |
| Grade | 0% | | | 0% | 0% | |
| Peak Hour Factor | 0.84 | 0.84 | 0.84 | 0.84 | 0.84 | 0.84 |
| Hourly flow rate (vph) | 58 | 55 | 11 | 643 | 226 | 14 |
| Pedestrians | | | | | | |
| Lane Width (ft) | | | | | | |
| Walking Speed (ft/s) | | | | | | |
| Percent Blockage | | | | | | |
| Right turn flare (veh) | | | | | | |
| Median type | | | | None | None | |
| Median storage (veh) | | | | | | |
| Upstream signal (ft) | | | | | 454 | |
| pX, platoon unblocked | 0.98 | 0.98 | 0.98 | | | |
| vC, conflicting volume | 890 | 226 | 240 | | | |
| vC1, stage 1 conf vol | | | | | | |
| vC2, stage 2 conf vol | | | | | | |
| vCu, unblocked vol | 878 | 199 | 214 | | | |
| tC, single (s) | 6.4 | 6.2 | 4.3 | | | |
| tC, 2 stage (s) | | | | | | |
| tF (s) | 3.5 | 3.3 | 2.4 | | | |
| p0 queue free % | 81 | 93 | 99 | | | |
| cM capacity (veh/h) | 307 | 824 | 1220 | | | |
| Direction, Lane # | EB 1 | NB 1 | SB 1 | SB 2 | | |
| Volume Total | 113 | 654 | 226 | 14 | | |
| Volume Left | 58 | 11 | 0 | 0 | | |
| Volume Right | 55 | 0 | 0 | 14 | | |
| cSH | 441 | 1220 | 1700 | 1700 | | |
| Volume to Capacity | 0.26 | 0.01 | 0.13 | 0.01 | | |
| Queue Length 95th (ft) | 25 | 1 | 0 | 0 | | |
| Control Delay (s) | 16.0 | 0.2 | 0.0 | 0.0 | | |
| Lane LOS | C | A | | | | |
| Approach Delay (s) | 16.0 | 0.2 | 0.0 | | | |
| Approach LOS | C | | | | | |
| Intersection Summary | | | | | | |
| Average Delay | | | 1.9 | | | |
| Intersection Capacity Utilization | | | 47.8% | ICU Level of Service | A | |
| Analysis Period (min) | | | 15 | | | |

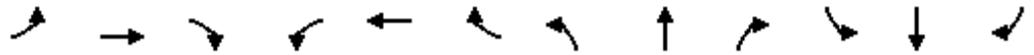
Lanes, Volumes, Timings
 3: Northgate Parkway & Lake Cook Road

9/22/2016

| |  |  |  |  |  |  |  |  |  |  |  |  |
|-------------------------|---|---|---|---|---|---|--|---|---|---|---|---|
| Lane Group | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
| Lane Configurations |  |    |  |  |    |  |  |  |  |  |  |  |
| Volume (vph) | 28 | 1096 | 66 | 349 | 2310 | 39 | 86 | 7 | 148 | 78 | 34 | 69 |
| Ideal Flow (vphpl) | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 |
| Storage Length (ft) | 210 | | 235 | 235 | | 235 | 140 | | 140 | 0 | | 0 |
| Storage Lanes | 1 | | 1 | 1 | | 1 | 1 | | 1 | 1 | | 1 |
| Taper Length (ft) | 160 | | | 175 | | | 160 | | | 70 | | |
| Lane Util. Factor | 1.00 | 0.91 | 1.00 | 1.00 | 0.91 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| Frt | | | 0.850 | | | 0.850 | | | 0.850 | | | 0.850 |
| Flt Protected | 0.950 | | | 0.950 | | | 0.950 | | | 0.950 | | |
| Satd. Flow (prot) | 1736 | 5353 | 1568 | 1752 | 5406 | 1335 | 1805 | 1754 | 1553 | 1736 | 1887 | 1509 |
| Flt Permitted | 0.050 | | | 0.196 | | | | | | 0.702 | | |
| Satd. Flow (perm) | 91 | 5353 | 1568 | 362 | 5406 | 1335 | 1900 | 1754 | 1553 | 1282 | 1887 | 1509 |
| Right Turn on Red | | | Yes | | | Yes | | | Yes | | | Yes |
| Satd. Flow (RTOR) | | | 73 | | | 47 | | | 154 | | | 73 |
| Link Speed (mph) | | 45 | | | 45 | | | 30 | | | | 30 |
| Link Distance (ft) | | 1186 | | | 1274 | | | 454 | | | | 346 |
| Travel Time (s) | | 18.0 | | | 19.3 | | | 10.3 | | | | 7.9 |
| Peak Hour Factor | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 |
| Heavy Vehicles (%) | 4% | 2% | 3% | 3% | 1% | 21% | 0% | 14% | 4% | 4% | 6% | 7% |
| Shared Lane Traffic (%) | | | | | | | | | | | | |
| Lane Group Flow (vph) | 29 | 1142 | 69 | 364 | 2406 | 41 | 90 | 7 | 154 | 81 | 35 | 72 |
| Turn Type | pm+pt | NA | pm+ov | pm+pt | NA | pm+ov | pm+pt | NA | pm+ov | pm+pt | NA | pm+ov |
| Protected Phases | 5 | 2 | 3 | 1 | 6 | 7 | 3 | 8 | 1 | 7 | 4 | 5 |
| Permitted Phases | 2 | | 2 | 6 | | 6 | 8 | | 8 | 4 | | 4 |
| Detector Phase | 5 | 2 | 3 | 1 | 6 | 7 | 3 | 8 | 1 | 7 | 4 | 5 |
| Switch Phase | | | | | | | | | | | | |
| Minimum Initial (s) | 3.0 | 15.0 | 3.0 | 3.0 | 15.0 | 3.0 | 3.0 | 8.0 | 3.0 | 3.0 | 8.0 | 3.0 |
| Minimum Split (s) | 7.0 | 21.0 | 7.0 | 7.0 | 21.0 | 7.0 | 7.0 | 14.0 | 7.0 | 7.0 | 14.0 | 7.0 |
| Total Split (s) | 15.0 | 80.0 | 20.0 | 30.0 | 95.0 | 20.0 | 20.0 | 20.0 | 30.0 | 20.0 | 20.0 | 15.0 |
| Total Split (%) | 10.0% | 53.3% | 13.3% | 20.0% | 63.3% | 13.3% | 13.3% | 13.3% | 20.0% | 13.3% | 13.3% | 10.0% |
| Yellow Time (s) | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 |
| All-Red Time (s) | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 |
| Lost Time Adjust (s) | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Total Lost Time (s) | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 |
| Lead/Lag | Lead | Lag | Lead | Lead | Lag | Lead | Lead | Lag | Lead | Lead | Lag | Lead |
| Lead-Lag Optimize? | | | | | | | | | | | | |
| Recall Mode | None | Min | None | Min | Min | None | None | None | Min | None | None | None |
| Act Effect Green (s) | 87.4 | 78.7 | 96.5 | 101.4 | 91.3 | 115.7 | 14.3 | 8.9 | 19.8 | 20.0 | 9.4 | 15.2 |
| Actuated g/C Ratio | 0.68 | 0.61 | 0.75 | 0.78 | 0.71 | 0.90 | 0.11 | 0.07 | 0.15 | 0.15 | 0.07 | 0.12 |
| v/c Ratio | 0.21 | 0.35 | 0.06 | 0.79 | 0.63 | 0.03 | 0.45 | 0.06 | 0.42 | 0.31 | 0.26 | 0.30 |
| Control Delay | 11.7 | 15.5 | 1.9 | 23.1 | 13.2 | 0.7 | 60.8 | 63.1 | 9.6 | 50.1 | 66.1 | 14.3 |
| Queue Delay | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Total Delay | 11.7 | 15.5 | 1.9 | 23.1 | 13.2 | 0.7 | 60.8 | 63.1 | 9.6 | 50.1 | 66.1 | 14.3 |
| LOS | B | B | A | C | B | A | E | E | A | D | E | B |
| Approach Delay | | 14.6 | | | 14.3 | | | 29.5 | | | | 39.4 |
| Approach LOS | | B | | | B | | | C | | | | D |
| Queue Length 50th (ft) | 6 | 188 | 0 | 91 | 442 | 0 | 77 | 6 | 0 | 60 | 30 | 0 |
| Queue Length 95th (ft) | 17 | 285 | 16 | 232 | 573 | 7 | 122 | 24 | 53 | 113 | 70 | 45 |
| Internal Link Dist (ft) | | 1106 | | | 1194 | | | 374 | | | | 266 |

Lanes, Volumes, Timings
 3: Northgate Parkway & Lake Cook Road

9/22/2016



| Lane Group | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|------------------------|------|------|------|------|------|------|------|------|------|------|------|------|
| Turn Bay Length (ft) | 210 | | 235 | 235 | | 235 | 140 | | 140 | | | |
| Base Capacity (vph) | 214 | 3260 | 1247 | 573 | 3820 | 1216 | 272 | 192 | 480 | 311 | 207 | 302 |
| Starvation Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Spillback Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Storage Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Reduced v/c Ratio | 0.14 | 0.35 | 0.06 | 0.64 | 0.63 | 0.03 | 0.33 | 0.04 | 0.32 | 0.26 | 0.17 | 0.24 |

Intersection Summary

| | |
|-----------------------------------|------------------------|
| Area Type: | Other |
| Cycle Length: | 150 |
| Actuated Cycle Length: | 129.2 |
| Natural Cycle: | 60 |
| Control Type: | Actuated-Uncoordinated |
| Maximum v/c Ratio: | 0.79 |
| Intersection Signal Delay: | 16.3 |
| Intersection LOS: | B |
| Intersection Capacity Utilization | 70.5% |
| ICU Level of Service | C |
| Analysis Period (min) | 15 |

Splits and Phases: 3: Northgate Parkway & Lake Cook Road

| | | | |
|------|------|------|------|
| φ1 | φ2 | φ3 | φ4 |
| 30 s | 80 s | 20 s | 20 s |
| φ5 | φ6 | φ7 | φ8 |
| 15 s | 95 s | 20 s | 20 s |

HCM Unsignalized Intersection Capacity Analysis

2: Durable Packaging Access Drive & Northgate Parkway

9/22/2016



| Movement | EBL | EBR | NBL | NBT | SBT | SBR |
|------------------------|------|------|------|------|------|------|
| Lane Configurations | | | | | | |
| Volume (veh/h) | 15 | 13 | 3 | 226 | 446 | 3 |
| Sign Control | Stop | | | Free | Free | |
| Grade | 0% | | | 0% | 0% | |
| Peak Hour Factor | 0.93 | 0.93 | 0.93 | 0.93 | 0.93 | 0.93 |
| Hourly flow rate (vph) | 16 | 14 | 3 | 243 | 480 | 3 |
| Pedestrians | | | | | | |
| Lane Width (ft) | | | | | | |
| Walking Speed (ft/s) | | | | | | |
| Percent Blockage | | | | | | |
| Right turn flare (veh) | | | | | | |
| Median type | | | | None | None | |
| Median storage (veh) | | | | | | |
| Upstream signal (ft) | | | | | 454 | |
| pX, platoon unblocked | 0.92 | 0.92 | 0.92 | | | |
| vC, conflicting volume | 729 | 480 | 483 | | | |
| vC1, stage 1 conf vol | | | | | | |
| vC2, stage 2 conf vol | | | | | | |
| vCu, unblocked vol | 661 | 389 | 393 | | | |
| tC, single (s) | 6.5 | 6.2 | 4.4 | | | |
| tC, 2 stage (s) | | | | | | |
| tF (s) | 3.6 | 3.3 | 2.5 | | | |
| p0 queue free % | 96 | 98 | 100 | | | |
| cM capacity (veh/h) | 376 | 610 | 933 | | | |

| Direction, Lane # | EB 1 | NB 1 | SB 1 | SB 2 |
|------------------------|------|------|------|------|
| Volume Total | 30 | 246 | 480 | 3 |
| Volume Left | 16 | 3 | 0 | 0 |
| Volume Right | 14 | 0 | 0 | 3 |
| cSH | 457 | 933 | 1700 | 1700 |
| Volume to Capacity | 0.07 | 0.00 | 0.28 | 0.00 |
| Queue Length 95th (ft) | 5 | 0 | 0 | 0 |
| Control Delay (s) | 13.4 | 0.2 | 0.0 | 0.0 |
| Lane LOS | B | A | | |
| Approach Delay (s) | 13.4 | 0.2 | 0.0 | |
| Approach LOS | B | | | |

| Intersection Summary | | | |
|-----------------------------------|--|-------|------------------------|
| Average Delay | | 0.6 | |
| Intersection Capacity Utilization | | 33.5% | ICU Level of Service A |
| Analysis Period (min) | | 15 | |

Lanes, Volumes, Timings 3: Northgate Parkway & Lake Cook Road

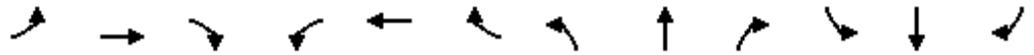
9/30/2016



| Lane Group | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|-------------------------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| Lane Configurations | ↘ | ↑↑↑ | ↗ | ↘ | ↑↑↑ | ↗ | ↘ | ↑ | ↗ | ↘ | ↑ | ↗ |
| Volume (vph) | 53 | 2850 | 85 | 180 | 958 | 52 | 107 | 57 | 479 | 28 | 10 | 29 |
| Ideal Flow (vphpl) | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 |
| Storage Length (ft) | 210 | | 235 | 235 | | 235 | 140 | | 140 | 0 | | 0 |
| Storage Lanes | 1 | | 1 | 1 | | 1 | 1 | | 1 | 1 | | 1 |
| Taper Length (ft) | 160 | | | 175 | | | 160 | | | 70 | | |
| Lane Util. Factor | 1.00 | 0.91 | 1.00 | 1.00 | 0.91 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| Frt | | | 0.850 | | | 0.850 | | | 0.850 | | | 0.850 |
| Flt Protected | 0.950 | | | 0.950 | | | 0.950 | | | 0.950 | | |
| Satd. Flow (prot) | 1770 | 5353 | 1524 | 1703 | 5250 | 1583 | 1736 | 2000 | 1553 | 1736 | 2000 | 1468 |
| Flt Permitted | 0.260 | | | 0.049 | | | 0.514 | | | 0.718 | | |
| Satd. Flow (perm) | 484 | 5353 | 1524 | 88 | 5250 | 1583 | 939 | 2000 | 1553 | 1312 | 2000 | 1468 |
| Right Turn on Red | | | Yes | | | Yes | | | Yes | | | Yes |
| Satd. Flow (RTOR) | | | 67 | | | 55 | | | 120 | | | 51 |
| Link Speed (mph) | | 45 | | | 45 | | | 30 | | | | 30 |
| Link Distance (ft) | | 1186 | | | 1274 | | | 454 | | | | 346 |
| Travel Time (s) | | 18.0 | | | 19.3 | | | 10.3 | | | | 7.9 |
| Peak Hour Factor | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 |
| Heavy Vehicles (%) | 2% | 2% | 6% | 6% | 4% | 2% | 4% | 0% | 4% | 4% | 0% | 10% |
| Shared Lane Traffic (%) | | | | | | | | | | | | |
| Lane Group Flow (vph) | 56 | 3000 | 89 | 189 | 1008 | 55 | 113 | 60 | 504 | 29 | 11 | 31 |
| Turn Type | pm+pt | NA | pm+ov |
| Protected Phases | 5 | 2 | 3 | 1 | 6 | 7 | 3 | 8 | 1 | 7 | 4 | 5 |
| Permitted Phases | 2 | | 2 | 6 | | 6 | 8 | | 8 | 4 | | 4 |
| Detector Phase | 5 | 2 | 3 | 1 | 6 | 7 | 3 | 8 | 1 | 7 | 4 | 5 |
| Switch Phase | | | | | | | | | | | | |
| Minimum Initial (s) | 3.0 | 15.0 | 3.0 | 3.0 | 15.0 | 3.0 | 3.0 | 8.0 | 3.0 | 3.0 | 8.0 | 3.0 |
| Minimum Split (s) | 7.0 | 21.0 | 7.0 | 7.0 | 21.0 | 7.0 | 7.0 | 14.0 | 7.0 | 7.0 | 14.0 | 7.0 |
| Total Split (s) | 14.0 | 83.0 | 15.0 | 14.0 | 83.0 | 15.0 | 15.0 | 28.0 | 14.0 | 15.0 | 28.0 | 14.0 |
| Total Split (%) | 10.0% | 59.3% | 10.7% | 10.0% | 59.3% | 10.7% | 10.7% | 20.0% | 10.0% | 10.7% | 20.0% | 10.0% |
| Yellow Time (s) | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 |
| All-Red Time (s) | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 |
| Lost Time Adjust (s) | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Total Lost Time (s) | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 |
| Lead/Lag | Lead | Lag | Lead |
| Lead-Lag Optimize? | | | | | | | | | | | | |
| Recall Mode | None | Min | None | None | Min | None | None | Max | None | None | None | None |
| Act Effect Green (s) | 86.5 | 77.1 | 106.8 | 93.3 | 82.8 | 96.3 | 33.2 | 22.0 | 38.6 | 16.1 | 12.5 | 16.8 |
| Actuated g/C Ratio | 0.64 | 0.57 | 0.80 | 0.69 | 0.62 | 0.72 | 0.25 | 0.16 | 0.29 | 0.12 | 0.09 | 0.13 |
| v/c Ratio | 0.15 | 0.98 | 0.07 | 1.01 | 0.31 | 0.05 | 0.30 | 0.18 | 0.95 | 0.16 | 0.06 | 0.14 |
| Control Delay | 8.2 | 39.8 | 2.3 | 104.8 | 13.5 | 1.8 | 42.3 | 51.4 | 64.5 | 46.6 | 53.7 | 5.2 |
| Queue Delay | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Total Delay | 8.2 | 39.8 | 2.3 | 104.8 | 13.5 | 1.8 | 42.3 | 51.4 | 64.5 | 46.6 | 53.7 | 5.2 |
| LOS | A | D | A | F | B | A | D | D | E | D | D | A |
| Approach Delay | | 38.2 | | | 26.7 | | | 59.6 | | | | 29.6 |
| Approach LOS | | D | | | C | | | E | | | | C |
| Queue Length 50th (ft) | 15 | 924 | 2 | ~127 | 157 | 0 | 79 | 47 | 354 | 25 | 9 | 0 |
| Queue Length 95th (ft) | 31 | #1108 | 23 | #294 | 197 | 13 | 134 | 92 | #597 | 46 | 28 | 13 |
| Internal Link Dist (ft) | | 1106 | | | 1194 | | | 374 | | | | 266 |

Lanes, Volumes, Timings
 3: Northgate Parkway & Lake Cook Road

9/30/2016



| Lane Group | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|------------------------|------|------|------|------|------|------|------|------|------|------|------|------|
| Turn Bay Length (ft) | 210 | | 235 | 235 | | 235 | 140 | | 140 | | | |
| Base Capacity (vph) | 425 | 3074 | 1225 | 187 | 3235 | 1196 | 373 | 328 | 531 | 232 | 328 | 267 |
| Starvation Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Spillback Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Storage Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Reduced v/c Ratio | 0.13 | 0.98 | 0.07 | 1.01 | 0.31 | 0.05 | 0.30 | 0.18 | 0.95 | 0.13 | 0.03 | 0.12 |

Intersection Summary

Area Type: Other
 Cycle Length: 140
 Actuated Cycle Length: 134.3
 Natural Cycle: 100
 Control Type: Actuated-Uncoordinated
 Maximum v/c Ratio: 1.01
 Intersection Signal Delay: 38.1
 Intersection LOS: D
 Intersection Capacity Utilization 97.0%
 ICU Level of Service F
 Analysis Period (min) 15
 ~ Volume exceeds capacity, queue is theoretically infinite.
 Queue shown is maximum after two cycles.
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 3: Northgate Parkway & Lake Cook Road

| | | | |
|------|------|------|------|
| φ1 | φ2 | φ3 | φ4 |
| 14 s | 83 s | 15 s | 28 s |
| φ5 | φ6 | φ7 | φ8 |
| 14 s | 83 s | 15 s | 28 s |

HCM Unsignalized Intersection Capacity Analysis

2: Northgate Parkway & Durable Packaging Access Drive

10/3/2016



| Movement | EBL | EBR | NBL | NBT | SBT | SBR |
|------------------------|------|------|------|------|------|------|
| Lane Configurations | | | | | | |
| Volume (veh/h) | 49 | 46 | 9 | 594 | 263 | 12 |
| Sign Control | Stop | | | Free | Free | |
| Grade | 0% | | | 0% | 0% | |
| Peak Hour Factor | 0.84 | 0.84 | 0.84 | 0.84 | 0.84 | 0.84 |
| Hourly flow rate (vph) | 58 | 55 | 11 | 707 | 313 | 14 |
| Pedestrians | | | | | | |
| Lane Width (ft) | | | | | | |
| Walking Speed (ft/s) | | | | | | |
| Percent Blockage | | | | | | |
| Right turn flare (veh) | | | | | | |
| Median type | | | | None | None | |
| Median storage (veh) | | | | | | |
| Upstream signal (ft) | | | | | 454 | |
| pX, platoon unblocked | 0.96 | 0.96 | 0.96 | | | |
| vC, conflicting volume | 1042 | 313 | 327 | | | |
| vC1, stage 1 conf vol | | | | | | |
| vC2, stage 2 conf vol | | | | | | |
| vCu, unblocked vol | 1024 | 267 | 282 | | | |
| tC, single (s) | 6.4 | 6.2 | 4.3 | | | |
| tC, 2 stage (s) | | | | | | |
| tF (s) | 3.5 | 3.3 | 2.4 | | | |
| p0 queue free % | 76 | 93 | 99 | | | |
| cM capacity (veh/h) | 247 | 743 | 1130 | | | |

| Direction, Lane # | EB 1 | NB 1 | SB 1 | SB 2 |
|------------------------|------|------|------|------|
| Volume Total | 113 | 718 | 313 | 14 |
| Volume Left | 58 | 11 | 0 | 0 |
| Volume Right | 55 | 0 | 0 | 14 |
| cSH | 364 | 1130 | 1700 | 1700 |
| Volume to Capacity | 0.31 | 0.01 | 0.18 | 0.01 |
| Queue Length 95th (ft) | 32 | 1 | 0 | 0 |
| Control Delay (s) | 19.3 | 0.3 | 0.0 | 0.0 |
| Lane LOS | C | A | | |
| Approach Delay (s) | 19.3 | 0.3 | 0.0 | |
| Approach LOS | C | | | |

| Intersection Summary | | | |
|-----------------------------------|-------|----------------------|-----|
| Average Delay | | | 2.0 |
| Intersection Capacity Utilization | 50.7% | ICU Level of Service | A |
| Analysis Period (min) | | | 15 |

HCM Unsignalized Intersection Capacity Analysis

7: Northgate Parkway & South Access Drive/Wieland Metal Access Drive

10/3/2016



| Movement | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|------------------------|------|------|------|------|------|------|------|------|------|------|------|------|
| Lane Configurations | | ↕ | | | ↕ | | | ↕ | | | ↕ | |
| Volume (veh/h) | 4 | 0 | 0 | 5 | 0 | 5 | 3 | 596 | 5 | 5 | 273 | 17 |
| Sign Control | | Stop | | | Stop | | | Free | | | Free | |
| Grade | | 0% | | | 0% | | | 0% | | | 0% | |
| Peak Hour Factor | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 |
| Hourly flow rate (vph) | 4 | 0 | 0 | 5 | 0 | 5 | 3 | 627 | 5 | 5 | 287 | 18 |
| Pedestrians | | | | | | | | | | | | |
| Lane Width (ft) | | | | | | | | | | | | |
| Walking Speed (ft/s) | | | | | | | | | | | | |
| Percent Blockage | | | | | | | | | | | | |
| Right turn flare (veh) | | | | | | | | | | | | |
| Median type | | | | | | | | None | | | None | |
| Median storage (veh) | | | | | | | | | | | | |
| Upstream signal (ft) | | | | | | | | | | | 1073 | |
| pX, platoon unblocked | | | | | | | | | | | | |
| vC, conflicting volume | 948 | 946 | 296 | 943 | 952 | 630 | 305 | | | 633 | | |
| vC1, stage 1 conf vol | | | | | | | | | | | | |
| vC2, stage 2 conf vol | | | | | | | | | | | | |
| vCu, unblocked vol | 948 | 946 | 296 | 943 | 952 | 630 | 305 | | | 633 | | |
| tC, single (s) | 7.6 | 6.5 | 7.2 | 8.1 | 7.5 | 7.2 | 4.4 | | | 5.1 | | |
| tC, 2 stage (s) | | | | | | | | | | | | |
| tF (s) | 4.0 | 4.0 | 4.2 | 4.4 | 4.9 | 4.2 | 2.5 | | | 3.1 | | |
| p0 queue free % | 98 | 100 | 100 | 97 | 100 | 98 | 100 | | | 99 | | |
| cM capacity (veh/h) | 193 | 259 | 561 | 164 | 178 | 343 | 1099 | | | 615 | | |

| Direction, Lane # | EB 1 | WB 1 | NB 1 | SB 1 |
|------------------------|------|------|------|------|
| Volume Total | 4 | 11 | 636 | 311 |
| Volume Left | 4 | 5 | 3 | 5 |
| Volume Right | 0 | 5 | 5 | 18 |
| cSH | 193 | 222 | 1099 | 615 |
| Volume to Capacity | 0.02 | 0.05 | 0.00 | 0.01 |
| Queue Length 95th (ft) | 2 | 4 | 0 | 1 |
| Control Delay (s) | 24.0 | 22.0 | 0.1 | 0.3 |
| Lane LOS | C | C | A | A |
| Approach Delay (s) | 24.0 | 22.0 | 0.1 | 0.3 |
| Approach LOS | C | C | | |

| Intersection Summary | | | |
|-----------------------------------|-------|-----|------------------------|
| Average Delay | | 0.5 | |
| Intersection Capacity Utilization | 43.3% | | ICU Level of Service A |
| Analysis Period (min) | | 15 | |

HCM Unsignalized Intersection Capacity Analysis

10: Northgate Parkway & North Access Drive

10/3/2016



| Movement | EBL | EBR | NBL | NBT | SBT | SBR |
|-----------------------------------|-------------|-------------|-------------|----------------------|------|------|
| Lane Configurations | | | | | | |
| Volume (veh/h) | 6 | 1 | 3 | 597 | 289 | 20 |
| Sign Control | Stop | | | Free | Free | |
| Grade | 0% | | | 0% | 0% | |
| Peak Hour Factor | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 |
| Hourly flow rate (vph) | 6 | 1 | 3 | 628 | 304 | 21 |
| Pedestrians | | | | | | |
| Lane Width (ft) | | | | | | |
| Walking Speed (ft/s) | | | | | | |
| Percent Blockage | | | | | | |
| Right turn flare (veh) | | | | | | |
| Median type | | | | None | None | |
| Median storage (veh) | | | | | | |
| Upstream signal (ft) | | | | | 583 | |
| pX, platoon unblocked | 0.98 | 0.98 | 0.98 | | | |
| vC, conflicting volume | 949 | 315 | 325 | | | |
| vC1, stage 1 conf vol | | | | | | |
| vC2, stage 2 conf vol | | | | | | |
| vCu, unblocked vol | 939 | 291 | 302 | | | |
| tC, single (s) | 6.4 | 6.2 | 4.1 | | | |
| tC, 2 stage (s) | | | | | | |
| tF (s) | 3.5 | 3.3 | 2.2 | | | |
| p0 queue free % | 98 | 100 | 100 | | | |
| cM capacity (veh/h) | 289 | 738 | 1246 | | | |
| Direction, Lane # | EB 1 | NB 1 | SB 1 | | | |
| Volume Total | 7 | 632 | 325 | | | |
| Volume Left | 6 | 3 | 0 | | | |
| Volume Right | 1 | 0 | 21 | | | |
| cSH | 317 | 1246 | 1700 | | | |
| Volume to Capacity | 0.02 | 0.00 | 0.19 | | | |
| Queue Length 95th (ft) | 2 | 0 | 0 | | | |
| Control Delay (s) | 16.6 | 0.1 | 0.0 | | | |
| Lane LOS | C | A | | | | |
| Approach Delay (s) | 16.6 | 0.1 | 0.0 | | | |
| Approach LOS | C | | | | | |
| Intersection Summary | | | | | | |
| Average Delay | | | 0.2 | | | |
| Intersection Capacity Utilization | | 43.8% | | ICU Level of Service | | A |
| Analysis Period (min) | | | 15 | | | |

Lanes, Volumes, Timings

3: Northgate Parkway & Lake Cook Road

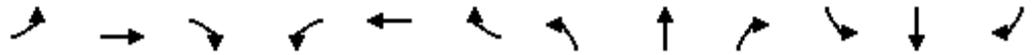
9/30/2016



| Lane Group | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|-------------------------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|-------|
| Lane Configurations | ↘ | ↑↑↑ | ↘ | ↘ | ↑↑↑ | ↘ | ↘ | ↑ | ↘ | ↘ | ↑ | ↘ |
| Volume (vph) | 28 | 1145 | 102 | 390 | 2414 | 39 | 123 | 7 | 199 | 78 | 34 | 69 |
| Ideal Flow (vphpl) | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 | 1900 | 2000 | 1900 |
| Storage Length (ft) | 210 | | 235 | 235 | | 235 | 140 | | 140 | 0 | | 0 |
| Storage Lanes | 1 | | 1 | 1 | | 1 | 1 | | 1 | 1 | | 1 |
| Taper Length (ft) | 160 | | | 175 | | | 160 | | | 70 | | |
| Lane Util. Factor | 1.00 | 0.91 | 1.00 | 1.00 | 0.91 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 | 1.00 |
| Frt | | | 0.850 | | | 0.850 | | | 0.850 | | | 0.850 |
| Flt Protected | 0.950 | | | 0.950 | | | 0.950 | | | 0.950 | | |
| Satd. Flow (prot) | 1736 | 5353 | 1553 | 1752 | 5406 | 1335 | 1770 | 1770 | 1524 | 1736 | 1905 | 1509 |
| Flt Permitted | 0.052 | | | 0.173 | | | | | | 0.678 | | |
| Satd. Flow (perm) | 95 | 5353 | 1553 | 319 | 5406 | 1335 | 1863 | 1770 | 1524 | 1239 | 1905 | 1509 |
| Right Turn on Red | | | Yes | | | Yes | | | Yes | | | Yes |
| Satd. Flow (RTOR) | | | 106 | | | 47 | | | 149 | | | 73 |
| Link Speed (mph) | | 45 | | | 45 | | | 30 | | | | 30 |
| Link Distance (ft) | | 1186 | | | 1274 | | | 454 | | | | 346 |
| Travel Time (s) | | 18.0 | | | 19.3 | | | 10.3 | | | | 7.9 |
| Peak Hour Factor | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 | 0.96 |
| Heavy Vehicles (%) | 4% | 2% | 4% | 3% | 1% | 21% | 2% | 13% | 6% | 4% | 5% | 7% |
| Shared Lane Traffic (%) | | | | | | | | | | | | |
| Lane Group Flow (vph) | 29 | 1193 | 106 | 406 | 2515 | 41 | 128 | 7 | 207 | 81 | 35 | 72 |
| Turn Type | pm+pt | NA | pm+ov |
| Protected Phases | 5 | 2 | 3 | 1 | 6 | 7 | 3 | 8 | 1 | 7 | 4 | 5 |
| Permitted Phases | 2 | | 2 | 6 | | 6 | 8 | | 8 | 4 | | 4 |
| Detector Phase | 5 | 2 | 3 | 1 | 6 | 7 | 3 | 8 | 1 | 7 | 4 | 5 |
| Switch Phase | | | | | | | | | | | | |
| Minimum Initial (s) | 3.0 | 15.0 | 3.0 | 3.0 | 15.0 | 3.0 | 3.0 | 8.0 | 3.0 | 3.0 | 8.0 | 3.0 |
| Minimum Split (s) | 7.0 | 21.0 | 7.0 | 7.0 | 21.0 | 7.0 | 7.0 | 14.0 | 7.0 | 7.0 | 14.0 | 7.0 |
| Total Split (s) | 15.0 | 80.0 | 20.0 | 30.0 | 95.0 | 20.0 | 20.0 | 20.0 | 30.0 | 20.0 | 20.0 | 15.0 |
| Total Split (%) | 10.0% | 53.3% | 13.3% | 20.0% | 63.3% | 13.3% | 13.3% | 13.3% | 20.0% | 13.3% | 13.3% | 10.0% |
| Yellow Time (s) | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 | 3.5 | 4.5 | 3.5 |
| All-Red Time (s) | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 | 0.0 | 1.5 | 0.0 |
| Lost Time Adjust (s) | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Total Lost Time (s) | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 | 3.5 | 6.0 | 3.5 |
| Lead/Lag | Lead | Lag | Lead |
| Lead-Lag Optimize? | | | | | | | | | | | | |
| Recall Mode | None | Min | None | Min | Min | None | None | None | Min | None | None | None |
| Act Effect Green (s) | 84.4 | 75.7 | 95.7 | 102.8 | 92.8 | 122.2 | 16.9 | 9.1 | 24.6 | 25.1 | 9.4 | 18.2 |
| Actuated g/C Ratio | 0.62 | 0.56 | 0.70 | 0.76 | 0.68 | 0.90 | 0.12 | 0.07 | 0.18 | 0.18 | 0.07 | 0.13 |
| v/c Ratio | 0.22 | 0.40 | 0.09 | 0.88 | 0.68 | 0.03 | 0.58 | 0.06 | 0.52 | 0.26 | 0.27 | 0.27 |
| Control Delay | 13.1 | 19.7 | 1.8 | 39.0 | 16.0 | 0.7 | 66.9 | 64.6 | 19.4 | 48.6 | 69.1 | 13.7 |
| Queue Delay | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 | 0.0 |
| Total Delay | 13.1 | 19.7 | 1.8 | 39.0 | 16.0 | 0.7 | 66.9 | 64.6 | 19.4 | 48.6 | 69.1 | 13.7 |
| LOS | B | B | A | D | B | A | E | E | B | D | E | B |
| Approach Delay | | 18.1 | | | 18.9 | | | 38.1 | | | 39.1 | |
| Approach LOS | | B | | | B | | | D | | | D | |
| Queue Length 50th (ft) | 7 | 245 | 0 | 179 | 524 | 0 | 116 | 6 | 47 | 63 | 32 | 0 |
| Queue Length 95th (ft) | 17 | 304 | 21 | #363 | 631 | 7 | 165 | 23 | 111 | 113 | 70 | 46 |
| Internal Link Dist (ft) | | 1106 | | | 1194 | | | 374 | | | 266 | |

Lanes, Volumes, Timings
 3: Northgate Parkway & Lake Cook Road

9/30/2016



| Lane Group | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|------------------------|------|------|------|------|------|------|------|------|------|------|------|------|
| Turn Bay Length (ft) | 210 | | 235 | 235 | | 235 | 140 | | 140 | | | |
| Base Capacity (vph) | 203 | 2980 | 1154 | 524 | 3691 | 1207 | 257 | 184 | 456 | 337 | 198 | 322 |
| Starvation Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Spillback Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Storage Cap Reductn | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| Reduced v/c Ratio | 0.14 | 0.40 | 0.09 | 0.77 | 0.68 | 0.03 | 0.50 | 0.04 | 0.45 | 0.24 | 0.18 | 0.22 |

Intersection Summary

Area Type: Other
 Cycle Length: 150
 Actuated Cycle Length: 135.9
 Natural Cycle: 65
 Control Type: Actuated-Uncoordinated
 Maximum v/c Ratio: 0.88
 Intersection Signal Delay: 20.9
 Intersection LOS: C
 Intersection Capacity Utilization 74.5%
 ICU Level of Service D
 Analysis Period (min) 15
 # 95th percentile volume exceeds capacity, queue may be longer.
 Queue shown is maximum after two cycles.

Splits and Phases: 3: Northgate Parkway & Lake Cook Road

| | | | |
|------|------|------|------|
| φ1 | φ2 | φ3 | φ4 |
| 30 s | 80 s | 20 s | 20 s |
| φ5 | φ6 | φ7 | φ8 |
| 15 s | 95 s | 20 s | 20 s |

HCM Unsignalized Intersection Capacity Analysis

2: Northgate Parkway & Durable Packaging Access Drive

10/3/2016



| Movement | EBL | EBR | NBL | NBT | SBT | SBR |
|------------------------|------|------|------|------|------|------|
| Lane Configurations | | | | | | |
| Volume (veh/h) | 15 | 13 | 3 | 314 | 523 | 3 |
| Sign Control | Stop | | | Free | Free | |
| Grade | 0% | | | 0% | 0% | |
| Peak Hour Factor | 0.93 | 0.93 | 0.93 | 0.93 | 0.93 | 0.93 |
| Hourly flow rate (vph) | 16 | 14 | 3 | 338 | 562 | 3 |
| Pedestrians | | | | | | |
| Lane Width (ft) | | | | | | |
| Walking Speed (ft/s) | | | | | | |
| Percent Blockage | | | | | | |
| Right turn flare (veh) | | | | | | |
| Median type | | | | None | None | |
| Median storage (veh) | | | | | | |
| Upstream signal (ft) | | | | | 454 | |
| pX, platoon unblocked | 0.90 | 0.90 | 0.90 | | | |
| vC, conflicting volume | 906 | 562 | 566 | | | |
| vC1, stage 1 conf vol | | | | | | |
| vC2, stage 2 conf vol | | | | | | |
| vCu, unblocked vol | 839 | 455 | 459 | | | |
| tC, single (s) | 6.5 | 6.2 | 4.4 | | | |
| tC, 2 stage (s) | | | | | | |
| tF (s) | 3.6 | 3.3 | 2.5 | | | |
| p0 queue free % | 94 | 97 | 100 | | | |
| cM capacity (veh/h) | 288 | 547 | 859 | | | |

| Direction, Lane # | EB 1 | NB 1 | SB 1 | SB 2 |
|------------------------|------|------|------|------|
| Volume Total | 30 | 341 | 562 | 3 |
| Volume Left | 16 | 3 | 0 | 0 |
| Volume Right | 14 | 0 | 0 | 3 |
| cSH | 369 | 859 | 1700 | 1700 |
| Volume to Capacity | 0.08 | 0.00 | 0.33 | 0.00 |
| Queue Length 95th (ft) | 7 | 0 | 0 | 0 |
| Control Delay (s) | 15.6 | 0.1 | 0.0 | 0.0 |
| Lane LOS | C | A | | |
| Approach Delay (s) | 15.6 | 0.1 | 0.0 | |
| Approach LOS | C | | | |

| Intersection Summary | | | |
|-----------------------------------|--|-------|------------------------|
| Average Delay | | 0.5 | |
| Intersection Capacity Utilization | | 37.5% | ICU Level of Service A |
| Analysis Period (min) | | 15 | |

HCM Unsignalized Intersection Capacity Analysis

7: South Access Drive & Northgate Parkway

10/3/2016



| Movement | EBL | EBT | EBR | WBL | WBT | WBR | NBL | NBT | NBR | SBL | SBT | SBR |
|------------------------|------|------|------|------|------|------|------|------|------|------|------|------|
| Lane Configurations | | ↕ | | | ↕ | | | ↕ | | | ↕ | |
| Volume (veh/h) | 17 | 0 | 3 | 5 | 0 | 5 | 1 | 281 | 5 | 5 | 527 | 6 |
| Sign Control | | Stop | | | Stop | | | Free | | | Free | |
| Grade | | 0% | | | 0% | | | 0% | | | 0% | |
| Peak Hour Factor | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 |
| Hourly flow rate (vph) | 18 | 0 | 3 | 5 | 0 | 5 | 1 | 296 | 5 | 5 | 555 | 6 |
| Pedestrians | | | | | | | | | | | | |
| Lane Width (ft) | | | | | | | | | | | | |
| Walking Speed (ft/s) | | | | | | | | | | | | |
| Percent Blockage | | | | | | | | | | | | |
| Right turn flare (veh) | | | | | | | | | | | | |
| Median type | | | | | | | | None | | | None | |
| Median storage (veh) | | | | | | | | | | | | |
| Upstream signal (ft) | | | | | | | | | | | 1073 | |
| pX, platoon unblocked | 0.91 | 0.91 | 0.91 | 0.91 | 0.91 | | 0.91 | | | | | |
| vC, conflicting volume | 874 | 872 | 558 | 872 | 872 | 298 | 561 | | | 301 | | |
| vC1, stage 1 conf vol | | | | | | | | | | | | |
| vC2, stage 2 conf vol | | | | | | | | | | | | |
| vCu, unblocked vol | 815 | 812 | 469 | 813 | 813 | 298 | 473 | | | 301 | | |
| tC, single (s) | 7.6 | 6.5 | 6.5 | 8.1 | 7.5 | 7.2 | 5.1 | | | 5.1 | | |
| tC, 2 stage (s) | | | | | | | | | | | | |
| tF (s) | 3.9 | 4.0 | 3.6 | 4.4 | 4.9 | 4.2 | 3.1 | | | 3.1 | | |
| p0 queue free % | 92 | 100 | 99 | 97 | 100 | 99 | 100 | | | 99 | | |
| cM capacity (veh/h) | 224 | 284 | 489 | 187 | 203 | 559 | 661 | | | 861 | | |

| Direction, Lane # | EB 1 | WB 1 | NB 1 | SB 1 |
|------------------------|------|------|------|------|
| Volume Total | 21 | 11 | 302 | 566 |
| Volume Left | 18 | 5 | 1 | 5 |
| Volume Right | 3 | 5 | 5 | 6 |
| cSH | 244 | 280 | 661 | 861 |
| Volume to Capacity | 0.09 | 0.04 | 0.00 | 0.01 |
| Queue Length 95th (ft) | 7 | 3 | 0 | 0 |
| Control Delay (s) | 21.1 | 18.3 | 0.1 | 0.2 |
| Lane LOS | C | C | A | A |
| Approach Delay (s) | 21.1 | 18.3 | 0.1 | 0.2 |
| Approach LOS | C | C | | |

| Intersection Summary | | | |
|-----------------------------------|-------|-----|----------------------|
| Average Delay | | 0.8 | |
| Intersection Capacity Utilization | 41.7% | | ICU Level of Service |
| Analysis Period (min) | 15 | | A |

HCM Unsignalized Intersection Capacity Analysis

10: Northgate Parkway & North Access Drive

10/3/2016



| Movement | EBL | EBR | NBL | NBT | SBT | SBR |
|------------------------|------|------|------|------|------|------|
| Lane Configurations | | | | | | |
| Volume (veh/h) | 20 | 3 | 1 | 297 | 530 | 6 |
| Sign Control | Stop | | | Free | Free | |
| Grade | 0% | | | 0% | 0% | |
| Peak Hour Factor | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 | 0.95 |
| Hourly flow rate (vph) | 21 | 3 | 1 | 313 | 558 | 6 |
| Pedestrians | | | | | | |
| Lane Width (ft) | | | | | | |
| Walking Speed (ft/s) | | | | | | |
| Percent Blockage | | | | | | |
| Right turn flare (veh) | | | | | | |
| Median type | | | | None | None | |
| Median storage (veh) | | | | | | |
| Upstream signal (ft) | | | | | 583 | |
| pX, platoon unblocked | 0.90 | 0.90 | 0.90 | | | |
| vC, conflicting volume | 876 | 561 | 564 | | | |
| vC1, stage 1 conf vol | | | | | | |
| vC2, stage 2 conf vol | | | | | | |
| vCu, unblocked vol | 807 | 458 | 461 | | | |
| tC, single (s) | 6.4 | 6.2 | 4.1 | | | |
| tC, 2 stage (s) | | | | | | |
| tF (s) | 3.5 | 3.3 | 2.2 | | | |
| p0 queue free % | 93 | 99 | 100 | | | |
| cM capacity (veh/h) | 318 | 547 | 1000 | | | |

| Direction, Lane # | EB 1 | NB 1 | SB 1 |
|------------------------|------|------|------|
| Volume Total | 24 | 314 | 564 |
| Volume Left | 21 | 1 | 0 |
| Volume Right | 3 | 0 | 6 |
| cSH | 336 | 1000 | 1700 |
| Volume to Capacity | 0.07 | 0.00 | 0.33 |
| Queue Length 95th (ft) | 6 | 0 | 0 |
| Control Delay (s) | 16.5 | 0.0 | 0.0 |
| Lane LOS | C | A | |
| Approach Delay (s) | 16.5 | 0.0 | 0.0 |
| Approach LOS | C | | |

| Intersection Summary | | | |
|-----------------------------------|-------|----------------------|---|
| Average Delay | | 0.5 | |
| Intersection Capacity Utilization | 38.3% | ICU Level of Service | A |
| Analysis Period (min) | 15 | | |

**FINDINGS OF FACT
AND RECOMMENDATION**

To: Village President and Board of Trustees

From: Wheeling Plan Commission/Sign Code Board of Appeal

Re: Docket No. 2016-22 & PC 16-12
Hamilton Partners
800 Northgate Parkway
(2016-22) Variations from Title 19, Zoning, Relating to Required Parking
(PC 16-12) Site Plan and Appearance Approval of a Spec Industrial Building

Docket No. 2016-22 HP Wheeling 1 LLC, owner, is seeking a variation from Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19.11 General Development Standards, Section 19.11.010 Off-Street Parking and Loading, Section E Parking Standards, Subsection 1 Minimum Required Parking per Land Use Category, and associated sections to reduce the required parking for speculative industrial uses in association with the development of 800 Northgate Parkway, a vacant property in the I-3 General Industrial District.

Chairman Ruffatto called Docket No. 2016-22 & PC 16-12 on October 27, 2016. Present were Commissioners Blinova, Dorband, Issakoo, Johnson, Powers, Ruffatto and Zangara. Also present were Brooke Jones, Senior Planner, Mallory Milluzzi, Village Attorney, Ron Antor, Fire Inspector and Kyle Goetzelmann, Civil Engineer.

Commissioner Powers read the following statement aloud.

A zoning variation is intended to be a method of adjustment to equalize regulations where Title 19 of the Village of Wheeling (Zoning) has created an unnecessary hardship. A variation is designed to allow affected property owners the same rights and privileges that others enjoy in the same zoning district. In order to be granted a variation a petitioner is required to demonstrate through testimony to the Plan Commission at the public hearing why their request meets the conditions of the village code including, but not limited to, how their individual situation is unique or unusual. Prior to the public hearing the petitioner provides written statements meant to show that their request for variation meets the standards established in Title 19. The Commission Chairperson will typically direct that these statements be entered into the record without a full reading of them at the hearing. Based upon the testimony and supporting materials submitted, the Plan Commission will make findings in support of, or against, the petitioner's testimony and report those findings to the Village Board.

Mr. Mike Wauterlek, Hamilton Partners, Inc. 300 Park Blvd, Suite 500, Itasca, Mr. Matthew Mulick, Architect, Ware Malcomb Architects, 1900 Spring Road, Oak Brook, Mr. Luay Aboona, KLOA, 9575 West Higgins Road, Suite 400, Rosemont and Mr. Brett Duffy, Spaceco Inc. 957 W. Higgins Road, Suite 700, Rosemont were present and sworn in.

Mr. Wauterlek presented a drawing of the proposed building. The ingress and egress is exclusively dedicated to cars. There is a north/east and north/west entrance. The west has the primary car

parking. The building is designed to be multi-tenant and can accommodate up to four tenants but they believe it will be two. The landbank parking is to the west. The drive leading to the south leads down to the water tower access provided to the Village. The purpose of the truck turnaround is for safety and efficiency. The truck court has a 60' concrete apron and the remainder of the construction of the truck court is asphalt.

Mr. Mulick explained the building is precast concrete panel with an aluminum glass glazing system throughout. Building material samples were provided. Clerestory glazing is included throughout the building. There is a small entry canopy in painted steel. The glazing is intended to be mostly clear vision glass. There is plenty of articulation provided along the facades.

Mr. Wauterlek referred to the proposed variance. He explained truck loading was important to the light distribution class of building use versus car parking. He understands parking has been an issue in the past in the Village but he explained for the type of user they were pursuing typically truck loading was of higher importance. If they were to construct all of the parking, the improvement becomes a detriment to the project because they believe it encumbers the project with an additional cost and it would probably not be utilized by the user.

Chairman Ruffatto asked Staff to explain the land banking and variation for benefit of the new Commissioners. Ms. Jones explained in lieu of constructing all of the parking, they were requesting a zoning variation to not construct the parking at this time. They would be required to have a covenant on the property that the Village would have discretion in determining if and when the parking would be necessary and would be based on the Village's determination that there was insufficient parking and then they would be required to add it.

Mr. Wauterlek mentioned the landscape architect was not present at the meeting. Ms. Jones referred to a brief landscaping summary on page 3 of the staff report.

Mr. Mulick reviewed the color paint samples.

- Medium taupe (hardware gray) – darker gray accent color on the entry corners of the building;
- Off-white (sedate gray) – will cover a majority of the building;
- Maroon color – a panel accent at the entries;
- Glazing – clear anodized aluminum frame system for most glazing;
- Dark gray finish – steel canopy portion in front;
- Pre-finished aluminum – match the clear anodized for window system; and
- Coping along the top of the building – prefinished metal coping to accent the dark gray panel and blend in the off-white color throughout most of the building.

Mr. Aboona referred to the traffic study that looked at the impact of the proposed development. They looked at the intersection of Lake Cook and Northgate which is the intersection that would be most influenced by the proposed development. They looked at the morning and evening peak periods to see the traffic flow of the intersection. The morning sees a little backup on Northgate going northbound to the tollway. This facility would be reversed in the morning so there would be no impact in the morning. In the evening, there is a heavy left turn from Lake Cook going south on Northgate and west on Dundee so it is also reverse of the traffic coming out of the project. He stated

that a warehouse distribution did not generate a lot of traffic in terms of employee traffic and truck traffic. They anticipate most of the traffic would be oriented toward Lake Cook. From an impact statement, they don't see the development having any significant or negative impact on Lake Cook or Northgate. There will be two access points to help facilitate the movement of traffic in and out. Northgate has a striped median so cars or trucks turning left could utilize the median and not block the traffic on Northgate.

Chairman Ruffatto opened the discussion to the public. No one from the audience came forward.

Commissioner Zangara liked the building. He had a concern regarding the land bank parking but now understands it. Mr. Wauterlek referred to their existing park in Buffalo Grove which is also light distribution buildings. The distance of the truck courts are between 100-110' so in the worst case scenario they would still have 120' of turning radius.

Commissioner Zangara questioned if there was a big grade change from the front of the property to the back. Mr. Wauterlek confirmed it was about 3'. Mr. Duffy confirmed there was significant grade change across Northgate Parkway and the truck docks themselves are 4' lower in the back than in the front. He thought across Northgate Parkway there might be 7' or 8' of fall across the street but they have accounted for it with the driveways.

Commissioner Zangara questioned if they were planning to add a monument sign. Mr. Mulick confirmed they were planning it but had not yet identified the location. He thought it would be toward the northeast entrance to the property.

Commissioner Zangara questioned the height of the parapet. Mr. Mulick stated the building has a 32' high clear space inside with the typical construction it would be between 18" and 24" of parapet. Commissioner Zangara expressed a concern with rooftop screening. Mr. Mulick reported they had been successful with screening units that were mounted to the actual rooftop units. They would be consistent with the building design with the louvered system.

In reply to Commissioner Zangara's question, Mr. Mulick confirmed the roof drains/downspouts would be internal.

Commissioner Issakoo echoed the comments about the building. He thinks it looks very nice. He asked the petitioner to discuss the note in the staff report about the competitive properties in the area not requiring the parking. Mr. Wauterlek explained from an industrial real estate standpoint, the buildings being built were not speculative manufacturing buildings but were speculative distribution buildings. Typically seen is a parking requirement around 1 per 1,000 square feet. He referred to a case study off of Asbury in Buffalo Grove. There is a 160,000 square foot spec building that is being built that has roughly 160 car parking. He felt the positive of the land bank is if they find someone who needs it, they would be able to get a sufficient return on the construction element. It would be difficult to justify on what they currently underwrote.

Commissioner Issakoo questioned if the Village had any concern on access to the water tower. Ms. Jones stated the Village didn't access the site too often. Mr. Goetzelmann noted there would also be an easement for access to the water tower once the site is complete.

Chairman Ruffatto asked Ms. Jones to discuss the engineering's comments. Ms. Jones noted the engineering comments were not provided in the packet. Staff received comments today from the engineering consultant and the Village Engineer indicating that they would not have any problems satisfying the engineering requirements for this property and the wetland impact areas had already been addressed with the MWRD. Mr. Goetzelmann was in agreement with Ms. Jones comments.

Commissioner Johnson noted elevations of the south and west sides were missing from the packet. He wanted to see the dock side of the building. Mr. Wauterlek confirmed there were 35 docks and two drive-ins. Commissioner Johnson referred to the parking stalls in the path of the trucks backing up. Mr. Wauterlek explained in the event they find someone who needs all the car parking they wouldn't use the back doors.

Commissioner Johnson questioned how the trash enclosure worked. Mr. Wauterlek explained they were intending to have their tenants keep the trash inside. If someone needs to use a dumpster they would require it to be screened. Mr. Wauterlek explained with the proposed use, there usually isn't a lot of refuse generated. The users typically empty their trash into a garbage can and then dispose as needed. Chairman Ruffatto mentioned that if a tenant needed outside storage for garbage it would take away parking. He questioned how it would be handled. Ms. Jones explained if they wished to install a trash enclosure they would need to return to the Plan Commission for minor site plan and appearance approval.

Commissioner Dorband questioned how easy it was to record a covenant regarding the parking variation. Ms. Milluzzi explained a covenant would be recorded against the property around the approval by the Village Board that says if it is needed at the Village's discretion they would have to build it. It was recorded against the property at all times

Commissioner Dorband noticed there is no irrigation, but it has been added as a condition.

In reply to Commissioner Powers' question, Mr. Wauterlek confirmed all the detention on the site would be built out.

Commissioner Powers referred to the existing chain link fence. Mr. Wauterlek confirmed it was owned by the neighbor. He confirmed there would not be any type of fencing around their property.

Commissioner Powers liked the building and thanked the petitioner for providing material samples.

In reply to Commissioner Blinova's question, Mr. Duffy confirmed the fire truck entrance was two way. Chairman Ruffatto questioned if the turning radius needs to be addressed on the drawing. Ms. Jones felt it could be handled at final. She suggested striking it from the motion if the exhibit was still being updated. She suggested adding a condition "That the truck turning radius exhibit may be modified or adjusted to meet the final engineering requirements."

Chairman Ruffatto referred to the nine other buildings Hamilton owned in Buffalo Grove. Mr. Wauterlek confirmed they were all distributed on buildings. Chairman Ruffatto questioned the demand for the use. Mr. Wauterlek stated the park across the street had been 100% leased for over

four years so he felt the demand was very strong.

In reply to Chairman Ruffatto's question, Mr. Wauterlek confirmed the rooftop mechanicals would be screened properly.

Chairman Ruffatto mentioned irrigation would be needed per Code.

Chairman Ruffatto mentioned there was a lot of landscaping around the south property. He questioned if it would mostly be removed. Mr. Wauterlek explained it was landscaping they were planning to add along the southern property line. He explained it was currently a ditch next to the access road.

Chairman Ruffatto mentioned that elevations for the south and west sides are missing. He wants to see them included as part of the plans. He felt the general consensus was that the building, use and variation were fine but the elevations needed to be seen before sending on to the Village Board. All Commissioners were in agreement to receive the additional drawings on Monday evening.

Commissioner Issakoo questioned if there could be a vote to send it to the Village Board with the condition that the elevations would be provided to the Board. Chairman Ruffatto explained he wants to see the entire package.

Commissioner Johnson questioned if the address issue needed to be straightened out before voting on it. Mr. Antor explained it could be handled during the permitting process. The address number just needed to be clarified.

Commissioner Powers moved, seconded by Commissioner Johnson to continue Docket No. 2016-22 to November 3, 2016.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Dorband, Issakoo, Johnson, Powers, Ruffatto, Zangara
NAYS: None
ABSENT: None
PRESENT: None
ABSTAIN: None

There being seven affirmative votes, the motion was approved.

Commissioner Dorband moved, seconded by Commissioner Zangara to table Docket No. PC 16-12.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Dorband, Issakoo, Johnson, Powers, Ruffatto, Zangara
NAYS: None
ABSENT: None
PRESENT: None

ABSTAIN: None

There being seven affirmative votes, the motion was approved.

NOVEMBER 3, 2016 PUBLIC HEARING

Chairman Ruffatto called Docket No. 2016-22 & PC 16-12 on November 3, 2016. Present were Commissioners Blinova, Dorband, Issakoo, Johnson, Powers, Ruffatto and Zangara. Also present were Brooke Jones, Senior Planner and Mallory Milluzzi, Village Attorney.

Mr. Mike Wauterlek, Hamilton Partners, Inc. 300 Park Blvd, Suite 500, Itasca was present and previously sworn in.

Mr. Wauterlek provided the additional elevations that were requested.

Commissioner Zangara had no questions.

Commissioner Issakoo had no questions.

Commissioner Dorband heard the petitioner went through great extents to get a larger building on the property. She thanked the petitioner.

Commissioner Powers thanked the petitioner for the nice looking building and nice packet.

Commissioner Blinova had no questions.

Commissioner Johnson thanked the petitioner for the elevations. He mentioned he had counted 34 docks plus 2 drive-ins on the plans but the notes indicate 35 plus 2 drive-ins. Mr. Wauterlek explained there could have been an error on the elevation. He confirmed their intention was to have 35 dock doors with 2 drive-in doors. Commissioner Johnson suggested correcting it before it goes to the Village Board. Chairman Ruffatto questioned if a condition could be added. Ms. Jones explained the condition would be that the south elevation representation of the number of docks would be reflected by the number on the site plan.

Chairman Ruffatto thanked the petitioner for turning it around so quickly.

Chairman Ruffatto questioned if this would be considered a special use and that the use would have to come before the Plan Commission as they get tenants. Ms. Jones explained it would depend on the use. If it's warehouse and distribution, they would not need to return. Chairman Ruffatto questioned how the number of spaces would be managed. Ms. Jones explained it was not a concern since they could subdivide the interior space. She explained it was common in both retail and industrial developments and Staff reviews any new business that comes in during the business licensing phase.

Commissioner Dorband moved, seconded by Commissioner Johnson to recommend approval of Docket No. 2016-22, granting a variation from Title 19, Zoning, of the Wheeling Municipal Code,

Chapter 19.11 General Development Standards, Chapter 19.11 General Development Standards, Section 19.11.010 Off-Street Parking and Loading, Section E Parking Standards, Subsection 1 Minimum Required Parking per Land Use Category, and associated sections, to reduce the required parking for speculative industrial uses, from 272 to 198 in order to accommodate a plan for landbanked parking, in accordance with the site plan submitted September 21, 2016, for an industrial development, to be located at 800 Northgate Parkway, Wheeling Illinois, subject to the following condition:

1. That prior to building occupancy, a covenant shall be recorded against the property indicating that the landbanked parking will be constructed upon determination from the Village that the additional parking is necessary.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Dorband, Issakoo, Johnson, Powers, Ruffatto, Zangara
NAYS: None
ABSENT: None
PRESENT: None
ABSTAIN: None

There being seven affirmative votes, the motion was approved.

Commissioner Powers moved, seconded by Commissioner Zangara to recommend approval of Docket No. PC 16-12 granting site plan and appearance approval as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-07 Industrial Districts and Chapter 19-12, Site Plan Approval Requirements, in order to construct a new speculative industrial development in accordance with the following exhibits submitted by Hamilton Partners on September 21, 2016 (except as noted), for the undeveloped property known as 800 Northgate Parkway, Wheeling, Illinois:

- Cover letter
- Site plan
- Northwest building perspective plan
- Northeast building perspective plan
- North and east building elevations plan
- South and west building elevations plan (10.31.2016)
- Landscape plans (3 sheets)
- Photometric plan
- Lighting specs (6 sheets)
- Engineering plans (22 sheets)
- Fire truck turning exhibit
- ALTA Survey
- Traffic study (56 sheets) (10.04.2016)

And with the following conditions:

1. The Village shall have continuous access to the water tower site throughout construction;
2. Prior to occupancy, the existing Village access easement shall be vacated;
3. Prior to occupancy, a new easement granting the Village access through the site to the Village water tower site, shall be executed;
4. That landscape irrigation shall be provided in accordance with the code;
5. That the truck turning radius exhibit may be adjusted at final engineering; and
6. The number of dock doors on the south elevation shall match the number of dock doors on the site plan (dated September 21, 2016).

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Dorband, Issakoo, Johnson, Powers, Ruffatto, Zangara

NAYS: None

ABSENT: None

PRESENT: None

ABSTAIN: None

There being seven affirmative votes, the motion was approved.

Commissioner Dorband moved, seconded by Commissioner Zangara to close Docket No. 2016-22. The motion was approved by a voice vote.

Respectfully submitted,

Jim Ruffatto, Chairman
Wheeling Plan Commission/
Sign Code Board of Appeals

**DISTRIBUTED TO THE COMMISSION 11.11.2016
FOR APPROVAL ON 11.17.2016**

**VILLAGE OF WHEELING
LEGISLATIVE COVER MEMORANDUM**

AGENDA ITEM NO(S): 13.E
(To be inserted by Deputy Clerk)

DATE OF BOARD MEETING: November 21, 2016

TITLE OF ITEM SUBMITTED: Resolution Approving a Contract with Northwest Electrical Supply for Milwaukee Avenue Median Electrical Work in an Amount Not to Exceed \$52,211

SUBMITTED BY: Mark Janeck, Director of Public Works

BASIC DESCRIPTION OF ITEM¹: Current limitations within the Milwaukee Avenue median electrical system require annual electrical contractor work to support holiday lighting and correct outdated wiring configurations. This contract with Northwest Electrical Supply will address deficiencies by utilizing existing electrical conduit and wiring, replacing junction boxes, installing tree lighting, and providing separate breakers for the holiday lights and the entry sign.

BUDGET²: Funds are available through TIF accounts.

BIDDING³: The contract was publicly bid.

EXHIBIT(S) ATTACHED: Memorandum, Bid Tabulation Form, Resolution, Contract Document

RECOMMENDATION: Approval

SUBMITTED FOR BOARD CONSIDERATION: Village Manager

¹ The purpose of the proposed item and a description of same. If the issue is site specific, such as an annexation or road improvement, a map must be attached to the memorandum.

² If applicable, provide all budgetary considerations as follows: is the item covered in the current budget; fund(s) the item is to be charged to; expenses per fund(s) and total cost; and necessary transfer(s) or supplemental appropriation(s).

³ If applicable, describe the bidding process and results for purchases and contracts. If applicable, state whether or not any particular city, state or federal program was considered



MEMORANDUM

TO: Jon A. Sfondilis, Village Manager
FROM: Mark Janeck, Director of Public Works
DATE: November 17, 2016
SUBJECT: Milwaukee Avenue Median Electrical Project

EXECUTIVE SUMMARY

Staff recommends approval of a contract with Northwest Electrical Supply (Northwest) in an amount not to exceed \$52,211 relative to Milwaukee Avenue median in-ground lighting for existing trees and an entry sign. The improvements will utilize onsite electrical conduit and wiring, while replacing deteriorating junction boxes, installing new uplights, and separating electrical breakers to reduce holiday light and entry sign power outages.

The Milwaukee Avenue median provides an important first image of Wheeling for vehicular traffic. There are currently 16 trees and one entry sign on the median, with permanent lighting only for the sign. Holiday lights on the trees are powered by means of extension cords and certain hard-wired connections to the junction boxes—work that requires an electrical contractor. Issues with the existing electrical configuration include the inability to operate the permanent entry-sign light concurrently with holiday lighting and the lack of accent tree lighting during the majority of the year. The proposed electrical work will allow for a full-time illuminated tree and entry sign, as well as the ability to install holiday tree lights. The contractor will utilize existing conduit and wiring while replacing junction boxes and installing two in-ground uplights per tree and separate breakers for the holiday lights and entry sign. When holiday lights are on, the uplights will be off, and vice versa. The new uplights are located on support posts that include electrical outlets.

Bids were advertised for this project on September 11, 2016, with two construction options: Option A required removal of all existing conduit and wiring; Option B permitted reuse of existing conduit and wiring. A mandatory pre-bid meeting and site visit was held on September 16, with three bids opened on September 23. The bids ranged from \$84,918 to \$96,012.30 for Option A, and \$52,211 to \$91,804.50 for Option B. The low bid for Option B was submitted by Northwest for \$52,211.

Northwest is based in Mount Prospect and has been in business for over 50 years. Public Works has purchased materials and supplies from Northwest since 2010, and has found them to be reliable. Additionally, staff contacted all references that Northwest provided and is confident that

they will perform the work satisfactorily. Thus, Public Works is recommending acceptance of the Northwest bid for Option B concerning the subject work at the Milwaukee Avenue median in an amount not to exceed \$52,211. Work will begin in spring 2017, and funds are available through existing tax increment financing (TIF) funds.

With your concurrence, please include this item on the November 21, 2016, Village Board meeting agenda.

RESOLUTION NO. 16 - _____

RESOLUTION APPROVING A CONTRACT WITH NORTHWEST ELECTRICAL SUPPLY FOR MILWAUKEE AVENUE MEDIAN ELECTRICAL WORK IN AN AMOUNT NOT TO EXCEED \$52,211

WHEREAS, the Milwaukee Avenue median signage, landscaping, and trees provide an important first impression of the Village; and

WHEREAS, the existing median electrical wiring does not presently allow for the full functionality desired by the Village for lighting the signage and trees and providing temporary holiday lighting; and

WHEREAS, to further enhance the median and correct electrical limitations, Public Works staff advertised for public bids that included two (2) electrical wiring options, and three (3) sealed bids were received and opened on September 23, 2016; and

WHEREAS, the Option A (Installation of Lighting with New Wiring) bid prices ranged from \$84,918 to \$96,012.30 and the Option B (Installation of Lighting Using Existing Wiring) bid prices ranged from \$52,211 to \$91,804.50; and

WHEREAS, staff recommends acceptance of the lowest responsible bid for Option B in the amount of \$52,211 submitted by Northwest Electrical Supply since it allows for utilization of existing conduit and electric wiring, and also represents the lowest overall cost; and

WHEREAS, the above-mentioned work is necessary for the desired appearance of the Milwaukee Avenue median and is in the best interest of the Village;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the Village President is authorized to execute a contract with Northwest Electrical Supply of Mount Prospect, for work as referenced in Option B of the bid for the Milwaukee Avenue median in an amount not to exceed \$52,211.

Trustee _____ moved, seconded by Trustee _____

that Resolution No. 16 - _____ be adopted.

President Argiris _____

Trustee Brady _____

Trustee Papantos _____

Trustee Krueger _____

Trustee Vito _____

Trustee Lang _____

Trustee Vogel _____

ADOPTED this _____ day of _____, 2016, by the
President and Board of Trustees of the Village of Wheeling, Illinois.

Dean S. Argiris
Village President

ATTEST:

Elaine E. Simpson
Village Clerk

VILLAGE OF WHEELING
Milwaukee Avenue Median Uplighting

CONTRACT DOCUMENT

This agreement is made this _____ day of _____, 2016 between and shall be binding upon the Village of Wheeling, an Illinois Municipal Corporation, herein after referred to as (the "Village") and Northwest Electric Supply, hereinafter referred to as (the "Contractor") and its successors.

Witnessed, that in consideration of the mutual promises of the parties delineated in the contract documents, the Contractor agrees to perform the services and the Village agrees to pay for the following services as set forth in the contract documents:

Option B: Installation of Lighting Using Existing Wiring

1. This contract shall embrace and include all of the applicable contract documents listed below as if attached hereto or repeated herein:
 - a. Specification and Contract Document for Milwaukee Avenue Median Uplighting Project consisting of the following:
 - i. Cover Sheet
 - ii. Table of Contents
 - iii. Invitation to Bid on Contract Document Legal Notice
 - iv. Standard General Conditions of the Construction Contract, EJCDC C-700 2007 Edition (as modified)
 - v. Specific Terms, Conditions and Instructions and Blue Prints
 - vi. Bid Proposal Form
 - vii. Plans and Specifications
 - viii. All issued Addenda
 - ix. Certificate of Eligibility to Enter into Public Contracts
 - x. Required Performance and Payment Bonds
 - xi. Required Insurance Certificates
 - xii. All other Modifications issued after the execution of the Contract. A Modification is (1) a written amendment to the Contract signed by both parties, (2) a Change Order, (3) a Construction Change Directive or (4) a written order for a minor change in the work issued by the Engineer.
 - b. The Contractor's Bid Proposal Dated September 22, 2016
 - c. Required Performance and Payment Bonds and Certificate of Insurance

2. The Village agrees to pay, and the Contractor agrees to accept as full payment for the items, and installation of the same, which are the subject matter of this contract the total sum of \$52,211 paid in accordance with the provisions of the Local Government Prompt Payment Act.
3. The Contractor represents and warrants that it will comply with all applicable Federal, State and local laws concerning prevailing wage rates and all Federal, State and local laws concerning equal employment opportunities.
4. The Contractor shall commence work under this Contract upon written Notice to Proceed from the Village. The Contract will be a one (1) year term for fiscal year 2017 and must be completed by December 31, 2017. There are no renewal options. Time is of the essence, and Contractor agrees to achieve completion within the contract time by all proper and appropriate means including working overtime without additional compensation.
5. Bonds required to guarantee performance and payment for labor and material for this work shall be in a form acceptable to the Village and shall provide that they shall not terminate on completion of the work, but shall be reduced to ten percent (10%) of the contract sum upon the date of final payment by the Village for a period of one (1) year to cover a warranty and maintenance period which Contractor agrees shall apply to all material and workmanship for one (1) year from the date of issuance of the final payment by the Village.
6. Pursuant to the provisions of Section 5 of the Mechanics' Lien Act of Illinois, prior to making any payment on this contract the Village demands that the Contractor furnish a written statement of the names of all parties furnishing labor and/or materials under this Contract and the amounts due or to become due on each. This statement must be made under oath or be verified by affidavit. Final payment shall not be issued by the Village nor shall any retained percentage become due until releases and waivers of lien have been supplied as the Village designates.
7. In executing this Contract, Contractor agrees that it has examined the site of the work and the conditions existing there in, has examined the Contract Documents and taken and compared field measurements and conditions with those Documents.
8. This Contract represents the entire Agreement between the parties and may not be modified without the written approval of both parties.
9. Where the terms of this Contract conflict with the provisions of the Contract Documents, the Contract Documents shall be binding.

IN WITNESS WHEREOF, the Village of Wheeling, Illinois by, Village President, and the Contractor have hereunto set their hands this _____ day of _____, 2016.

If an individual or partnership, all individual names of each partner shall be signed or if a corporation, an officer duly authorized shall sign here:



BID TABULATION FORM

PROJECT: MILWAUKEE AVENUE MEDIAN UPLIGHTING

BID OPENING DATE: FRIDAY, SEPTEMBER 23, 2016 AT 11:00 AM, VILLAGE HALL

| BIDDER | BIDDER LOCATION | ADDENDUM #1 | | BID DEPOSIT | | OPTION A: TOTAL BID PRICE | OPTION B: TOTAL BID PRICE |
|------------------------|--------------------|------------------------------------|------------------------------------|------------------------------------|-------------------------|------------------------------|------------------------------|
| H&H Electric Co. | Franklin Park, IL. | <input checked="" type="radio"/> Y | <input type="radio"/> N | <input checked="" type="radio"/> Y | <input type="radio"/> N | \$96,012.30 | \$91,804.50 |
| Utility Dynamics Corp. | Oswego, IL. | <input checked="" type="radio"/> Y | <input type="radio"/> N | <input checked="" type="radio"/> Y | <input type="radio"/> N | \$87,925.00 | \$75,890.00 |
| Northwest Electrical | Mount Prospect, IL | <input type="radio"/> Y | <input checked="" type="radio"/> N | <input checked="" type="radio"/> Y | <input type="radio"/> N | \$84,918.00 | \$52,211.00 |
| | | <input type="radio"/> Y | <input type="radio"/> N | <input type="radio"/> Y | <input type="radio"/> N | | |
| | | <input type="radio"/> Y | <input type="radio"/> N | <input type="radio"/> Y | <input type="radio"/> N | | |

VILLAGE OF WHEELING LEGISLATIVE COVER MEMORANDUM

AGENDA ITEM NO(S): 13.F
(To be inserted by Deputy Clerk)

DATE OF BOARD MEETING: November 21, 2016

TITLE OF ITEM SUBMITTED: An Ordinance Declaring as Surplus and Authorizing the Disposal, Recycling, or Auction of Municipal Property Owned by the Village of Wheeling

SUBMITTED BY: Mark Janeck, Director of Public Works

BASIC DESCRIPTION OF ITEM¹: Request to dispose of property no longer needed by the Village, including but not limited to a “season’s greetings” sign, streetlight-pole-mounted snowman silhouettes, chairs, a weight station, an L-shaped desk set, a “W” sign, various electronics, and miscellaneous items such as partitions, desks, lockers, tables, file cabinets, and a painting. Items were collected from the Police Department Neighborhood Resource Center, the Fire Department, and Public Works, and are damaged, discolored, and/or have not been utilized in the past 5–10 years.

BUDGET²: N/A

BIDDING³: N/A

EXHIBIT(S) ATTACHED: Memorandum and Ordinance

RECOMMENDATION: N/A

SUBMITTED FOR BOARD CONSIDERATION: Village Manager

¹ The purpose of the proposed item and a description of same. If the issue is site specific, such as an annexation or road improvement, a map must be attached to the memorandum.

² If applicable, provide all budgetary considerations as follows: is the item covered in the current budget; fund(s) the item is to be charged to; expenses per fund(s) and total cost; and necessary transfer(s) or supplemental appropriation(s).

³ If applicable, describe the bidding process and results for purchases and contracts. If applicable, state whether or not any particular city, state or federal program was considered



MEMORANDUM

TO: Jon Sfondilis, Village Manager
FROM: Mark Janeck, Director Public Works
DATE: November 8, 2016
SUBJECT: Surplus Property

EXECUTIVE SUMMARY

Staff requests Village Board authorization for the disposal, recycling, or auction of property including a “season’s greetings” sign, streetlight-pole snowman silhouettes, an L-shaped desk, various electronics, and miscellaneous items such as chairs, lockers, desks, partitions, filing cabinets, a weight station, and a “W” from the former Wickes Furniture. The Wheeling Historical Society has indicated interest in reviewing and possibly accepting some of these items as donations. The surplus property is pictured below.







ORDINANCE _____

**AN ORDINANCE DECLARING AS SURPLUS AND AUTHORIZING THE DISPOSAL,
RECYCLING, OR AUCTION OF MUNICIPAL PROPERTY OWNED BY
THE VILLAGE OF WHEELING**

WHEREAS, in the opinion of the corporate authorities of the Village of Wheeling, it is no longer necessary, useful, or in the best interests of the Village to retain ownership of the municipal property hereinafter described; and

WHEREAS, it has been determined by the President and Board of Trustees of the Village of Wheeling that said property should be donated to local entities or disposed of properly;

NOW, THEREFORE, BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS:

SECTION ONE: Pursuant to Section 5/11-76-4 of the Illinois Municipal Code, Illinois Compiled Statutes, Ch. 65, the Board finds that the following described personal property:

- One (1) outdoor ground-mounted “Season’s Greetings” sign with garland
- Two (2) streetlight-pole snowman silhouettes
- Twenty-one (21) chairs
- Five (5) televisions including remotes
- One (1) L-shaped desk set
- One (1) combined facsimile and copier, DVD, VCR and frequency modulator
- One (1) weight station including various weights
- One (1) *W* sign from the former Wickes Furniture property
- Miscellaneous items such as partitions, desks, lockers, tables, file cabinets, and a painting

is all currently owned by the Village, and is no longer necessary or useful to the Village, and that it is in the best interest of the Village that said property be properly disposed of, recycled, or sold through auction.

SECTION TWO: Pursuant to said Section 5/11-76-4, the Village Manager or his designee is hereby authorized and directed to seek a not-for-profit, non-profit, or charity organization to receive the subject property and/or to dispose of said property in any appropriate way.

SECTION THREE: Upon the disposal or provision to a chosen entity as described above, the Village Manager is hereby authorized and directed to convey and transfer title of the aforesaid property.

SECTION FOUR: This Ordinance shall be in full force and effect from and after its passage, by a majority vote of the corporate authorities, and approval in the manner provided by law.

Trustee _____ moved, seconded by

Trustee _____, that Ordinance No. _____ be passed.

PASSED this _____ day of _____, 2016.

President Argiris _____

Trustee Brady _____

Trustee Papantos _____

Trustee Krueger _____

Trustee Vito _____

Trustee Lang _____

Trustee Vogel _____

APPROVED this _____ day of _____, 2016.

Dean S. Argiris, Village President

ATTEST:

Elaine E. Simpson, Village Clerk

APPROVED AS TO FORM ONLY:

Village Attorney

Published in pamphlet form this _____ day of _____, 2016, by order of the Corporate Authorities of the Village of Wheeling, Cook and Lake Counties, Illinois.

**VILLAGE OF WHEELING
EXPENDITURES
November 3, 2016 - November 16, 2016**

Previously Paid Invoices

| | | | |
|------------------|-----------|------------------|---------------------|
| <u>11/3/2016</u> | <u>\$</u> | <u>80,565.60</u> | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | <u>\$ 80,565.60</u> |

ACH / Wire Transfers

| | | | |
|------------------------|-----------|---------------------|------------------------|
| <u>11/3/2016</u> | <u>\$</u> | <u>88,955.11</u> | |
| | | | |
| <u>October Manuals</u> | <u>\$</u> | <u>1,434,918.11</u> | |
| | | | |
| | | | <u>\$ 1,523,873.22</u> |

Purchasing Cards

| | | |
|----------|----------|----------|
| <u> </u> | <u> </u> | <u> </u> |
| | | |

Payroll Checks

| | | |
|-------------------------|-----------|-------------------|
| <u>November 4, 2016</u> | <u>\$</u> | <u>546,208.40</u> |
| | | |

Accruals to be Approved

| | |
|-----------|-------------------|
| <u>\$</u> | <u>301,122.27</u> |
|-----------|-------------------|

TOTAL EXPENDITURES \$ 2,451,769.49

SUNGARD PENTAMATION
 DATE: 11/03/2016
 TIME: 13:46:10
 SELECTION CRITERIA: ALL

VILLAGE OF WHEELING
 CASH REQUIREMENTS - CHECK FORMAT - DUE DATE: 11/04/2016

PAGE NUMBER: 1
 ACCTPA51
 ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR | INVOICE | AMOUNT | DESCRIPTION |
|---|----------------------|----------------------|----------------------------------|-------------------------------|--|--|
| 8768 AFSCME COUNCIL 31 TOTAL CHECK | 50 | 2124 | | | 886.40 886.40 | DED:094 AFSCME DUE |
| 6255 AT&T MOBILITY TOTAL CHECK | 1600 | 5239 | 16002702 | | 1,255.33 1,255.33 | CELLULAR SERVICES |
| 296 BAXTER & WOODMAN INC TOTAL CHECK | 3500 3500 3410 | 5206 5206 5506 | 16000380 16001808 16002189 | 0188830 0188831 0188832 | 33,157.58 700.00 1,110.00 34,967.58 | DUNDEE/COMMUNITY BLVD NORTHGATE PKWY BRIDGE SW WOLF RD BRIDGE DESIGN |
| 5553 HEATHER BRAOUDAKIS TOTAL CHECK | 5500 | 5299 | 16002577 | | 90.00 90.00 | ENTERTAINMENT 11-8-16 |
| 397 CALL ONE TOTAL CHECK | 1600 | 5238 | 16000279 | | 19,564.12 19,564.12 | PHONE SERVICE-OCT. |
| 8751 CIORBA GROUP INC TOTAL CHECK | 4510 | 5223 | 16001577 | 0022864 | 6,515.38 6,515.38 | S WHEELING RD SEWER |
| 8151 DEMARR SEALCOATING INC TOTAL CHECK | 4320 | 5502 | 16002657 | S16-368 | 600.00 600.00 | STRIPING SAINT ARMAND |
| 10154 JOURNAL COMMUNICATIONS INC TOTAL CHECK | 1600 | 5333 | 16002604 | 084438 | 5,560.00 5,560.00 | STATE OF IL MGZNE AD |
| 9442 LAW OFFICES OF NICHOLAS J ST TOTAL CHECK | 1900 | 5218 | 16001311 | | 1,500.00 1,500.00 | PROSECUTOR FEE-NOV. |
| 7422 LORI LEE SMITH TOTAL CHECK | 50 | 2134 | | | 636.00 636.00 | DED:192 MISC DEDUC |
| 7346 MANHARD CONSULTING LTD TOTAL CHECK | 3900 | 5206 | 16001469 | 19064 | 3,211.25 3,211.25 | WOLF CT CROSSING |
| 5495 OFFICE OF CHAPTER 13 TRUSTEE TOTAL CHECK | 50 | 2138 | | | 157.00 157.00 | DED:191 MISC DEDUC |
| 8664 PATCH 22 TOTAL CHECK | 1140 | 5297 | 16002707 | | 650.00 650.00 | HORSE DRAWN WAGON |

SUNGARD PENTAMATION
 DATE: 11/03/2016
 TIME: 13:46:10
 SELECTION CRITERIA: ALL

VILLAGE OF WHEELING
 CASH REQUIREMENTS - CHECK FORMAT - DUE DATE: 11/04/2016

PAGE NUMBER: 2
 ACCTPA51
 ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR INVOICE | AMOUNT | DESCRIPTION |
|---|--------------|---------|---------------------|-----------|---------------------------|
| 2291 | 2200 | 5105 | 16002386 | 59.80 | REHAB SUPPLIES |
| SAM'S CLUB DIRECT | 2100 | 5323 | 16002414 | 18.63 | CEREMONY SUPPLIES |
| | 2100 | 5228 | 16002415 | 100.36 | CRIME PREVENTION SUPPLY |
| | 2100 | 5105 | 16002416 | 46.98 | MEETING SUPPLIES |
| | 1315 | 5317 | 16002475 | 42.26 | SUPPLIES FOR WEBINAR TRAI |
| | 1320 | 5317 | 16002486 | 138.38 | COFFEE SUPPLIES |
| | 2100 | 5105 | 16002497 | 28.85 | MEETINGS SUPPLIES |
| | 2200 | 5105 | 16002552 | 57.04 | MEETING REFRESHMENTS |
| | 1320 | 5297 | 16002594 | 49.88 | BBQ NIGHT SUPPLIES |
| | 2200 | 5105 | 16002612 | 70.06 | FIRE/ARSON INVEST. |
| | 2100 | 5323 | 16002629 | 18.63 | RETIREMENT CAKE |
| | 2100 | 5105 | 16002630 | 61.82 | MEETINGS SUPPLIES |
| | 2100 | 5228 | 16002630 | 94.88 | MEETINGS SUPPLIES |
| | 2100 | 5317 | 16002630 | 19.92 | MEETINGS SUPPLIES |
| TOTAL CHECK | | | | 807.49 | |
| 2440 | 50 | 2140 | | 332.00 | DED:198 MISC DEDUC |
| STATE DISBURSEMENT UNIT | | | | | |
| TOTAL CHECK | | | | 332.00 | |
| 2441 | 50 | 2136 | | 527.00 | DED:193 MISC DEDUC |
| STATE DISBURSEMENT UNIT | | | | | |
| TOTAL CHECK | | | | 527.00 | |
| 2443 | 50 | 2139 | | 722.49 | DED:197 MISC DEDUC |
| STATE DISBURSEMENT UNIT | | | | | |
| TOTAL CHECK | | | | 722.49 | |
| 2444 | 50 | 2136 | | 408.44 | DED:502 MISC DEDUC |
| STATE DISBURSEMENT UNIT | | | | | |
| TOTAL CHECK | | | | 408.44 | |
| 2445 | 50 | 2136 | | 976.50 | DED:196 MISC DEDUC |
| STATE DISBURSEMENT UNIT | | | | | |
| TOTAL CHECK | | | | 976.50 | |
| 2447 | 50 | 2136 | | 494.77 | DED:194 MISC DEDUC |
| STATE DISBURSEMENT UNIT | | | | | |
| TOTAL CHECK | | | | 494.77 | |
| 8200 | 50 | 2136 | | 703.85 | DED:504 MISC DED |
| STATE DISBURSEMENT UNIT | | | | | |
| TOTAL CHECK | | | | 703.85 | |
| TOTAL CASHABLE CHECKS | | | | 80,565.60 | |
| TOTAL EFT VOUCHERS | | | | .00 | |
| TOTAL REPORT | | | | 80,565.60 | |
| TOTAL NUMBER OF CHECKS TO BE ISSUED - 21 | | | | | |
| TOTAL NUMBER OF EFT VOUCHERS TO BE ISSUED - 0 | | | | | |

SUNGARD PENTAMATION
 DATE: 11/03/2016
 TIME: 13:45:26
 SELECTION CRITERIA: ALL

VILLAGE OF WHEELING
 CASH REQUIREMENTS - CHECK FORMAT - DUE DATE: 11/04/2016

PAGE NUMBER: 1
 ACCTPA51
 ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: EFT ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR INVOICE | AMOUNT | DESCRIPTION |
|---|--------------|---------|---------------------|------------------------|-----------------------|
| 5487 DEAN ARGIRIS TOTAL VOUCHER | 1600 | 5239 | 16000056 | 60.00 60.00 | CELL PHONE REIMB.-NOV |
| 554 COMBINED COUNTIES POLICE ASN TOTAL VOUCHER | 50 | 2108 | | 996.00 996.00 | DED:090 CCPA DUES |
| 6047 MICHAEL CROTTY TOTAL VOUCHER | 1800 | 5205 | 16002687 | 417.10 417.10 | CONF. REIMBURSEMENT |
| 4972 DIVERSIFIED 457 INVESTMENT A TOTAL VOUCHER | 50 | 2115 | | 4,066.02 4,066.02 | DED:042 DIVERS 457 |
| 9745 JAMES DUNNE TOTAL VOUCHER | 2100 | 5205 | 16002674 | 2,314.95 2,314.95 | CONF. REIMBURSEMENT |
| 7023 DRUCILLA GARCIA TOTAL VOUCHER | 1600 | 5239 | 16000057 | 60.00 60.00 | CELL PHONE REIMB.-NOV |
| 3305 PAUL HARDT TOTAL VOUCHER | 2100 | 5316 | 16002686 | 98.68 98.68 | SAFETY GLASSES |
| 1106 I C M A RETIREMENT TRUST-457 TOTAL VOUCHER | 50 | 2101 | | 22,783.77 22,783.77 | DED:030 457 ICMA |
| 6327 JENNIFER KANCHES TOTAL VOUCHER | 50 | 2136 | | 668.35 668.35 | DED:199 MISC DEDUC |
| 2321 SCOTT LAVERD TOTAL VOUCHER | 2100 | 5106 | 16002632 | 118.80 118.80 | UNIFORM ALLOWANCE |
| 1869 NATIONWIDE RETIREMENT SOLUTI TOTAL VOUCHER | 50 | 2112 | | 15,365.76 15,365.76 | DED:040 457 NTWIDE |
| 4592 CHRISTOPHER ROGERS TOTAL VOUCHER | 2100 | 5106 | 16002644 | 68.96 68.96 | UNIFORM ALLOWANCE |
| 9523 BRIAN SMITH TOTAL VOUCHER | 1700 | 5105 | 16002703 | 64.67 64.67 | TRAVEL REIMBURSEMENT |
| 9309 BRITTANY VORE TOTAL VOUCHER | 2100 | 5106 | 16002628 | 144.63 144.63 | UNIFORM ALLOWANCE |

SUNGARD PENTAMATION
DATE: 11/03/2016
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SELECTION CRITERIA: ALL

VILLAGE OF WHEELING
CASH REQUIREMENTS - CHECK FORMAT - DUE DATE: 11/04/2016

PAGE NUMBER: 2
ACCTPA51
ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: EFT ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR INVOICE | AMOUNT | DESCRIPTION |
|--|--------------|---------|---------------------|-----------|--------------------|
| 431 | 4100 | 5105 | 16002667 | 15.00 | CDL RENEWAL |
| DONALD WENNERSTROM | 4200 | 5105 | 16002667 | 15.00 | CDL RENEWAL |
| TOTAL VOUCHER | | | | 30.00 | |
| 2735 | 50 | 2107 | | 18,168.21 | DED:012 FIRE PENS |
| WHEELING FIRE PENSION FUND | | | | | |
| TOTAL VOUCHER | | | | 18,168.21 | |
| 2792 | 50 | 2111 | | 1,808.10 | DED:091 FF ASC DUE |
| WHEELING FIREFIGHTER'S ASSN | | | | | |
| TOTAL VOUCHER | | | | 1,808.10 | |
| 2736 | 50 | 2106 | | 21,721.11 | DED:011 POL PENS |
| WHEELING POLICE PENSION FUND | | | | | |
| TOTAL VOUCHER | | | | 21,721.11 | |
| TOTAL CASHABLE CHECKS | | | | .00 | |
| TOTAL EFT VOUCHERS | | | | 88,955.11 | |
| TOTAL REPORT | | | | 88,955.11 | |
| TOTAL NUMBER OF CHECKS TO BE ISSUED - 0 | | | | | |
| TOTAL NUMBER OF EFT VOUCHERS TO BE ISSUED - 18 | | | | | |

SUNGARD PENTAMATION
 DATE: 11/09/2016
 TIME: 11:11:00

VILLAGE OF WHEELING
 MANUAL CHECK ACTIVITY

PAGE NUMBER: 1
 DAILY51

SELECTION CRITERIA:
 ACCOUNTING PERIOD: 10/16

FUND - 01 - GENERAL FUND

| ORGANIZATION | ACCOUNT CONTROL | VENDOR DESCRIPTION | 1099 T/C | PURCHASE INVOICE | ORDE | TRANSACT CHK | PROJ/TAS DATE | CASH ACCT CHECK NO | SALES TAX USE TAX | DISC DATE DISC AMT | CHECK AMT NET PAYABLE |
|---|-----------------|---|----------|------------------|------|--------------|---------------|--------------------|-------------------|--------------------|-----------------------|
| 01 | 1501 RBS1016 | NORTHWEST WATER COMM JAN 2016 PAYMENT | N 20 | | | 10/20/16 | 10/20/16 | 1003 2016166 | 0.00 0.00 | | 113188.00 113188.00 |
| 01 | 2011 RBS1016 | IPBC OCT INS PREMIUMS | N 20 | | | 10/03/16 | 10/03/16 | 1003 2016159 | 0.00 0.00 | | 103559.10 103559.10 |
| TOTAL GENERAL FUND CHECK AMT | | | | | | | | | | | 216747.10 |
| TOTAL GENERAL FUND NET PAYABLE | | | | | | | | | | | 216747.10 |
| 1160 | 5227 RBS1016 | POSTMASTER PERMIT 3 OCT WATER BILLS | N 20 | | | 10/27/16 | 10/27/16 | 1003 2016170 | 0.00 0.00 | | 46.70 46.70 |
| TOTAL SOLID WASTE SYSTEM CHECK AMT | | | | | | | | | | | 46.70 |
| TOTAL SOLID WASTE SYSTEM NET PAYABLE | | | | | | | | | | | 46.70 |
| 1170 | 5236 RBS1016 | PASSPORT PARKING INC SEP MOBILE PAY CHARG | N 20 | | | 10/24/16 | 10/24/16 | 1003 2016168 | 0.00 0.00 | | 116.92 116.92 |
| TOTAL COMMUTER PARKING CHECK AMT | | | | | | | | | | | 116.92 |
| TOTAL COMMUTER PARKING NET PAYABLE | | | | | | | | | | | 116.92 |
| 1300 | 5206 AMM09/20 | KATHLEEN W. BONO, CS JACKSON DR TRANSCRIP | N 20 | 16002185-01 7220 | | 10/25/16 | 09/20/16 | 1003 35810 V | 0.00 0.00 | 09/14/16 0.00 | -1083.50 -1083.50 |
| TOTAL COMMUNITY DEVELOPMENT CHECK AMT | | | | | | | | | | | -1083.50 |
| TOTAL COMMUNITY DEVELOPMENT NET PAYABLE | | | | | | | | | | | -1083.50 |
| 1700 | 5299 BS102516 | DISCOVERY BENEFITS SEP PROCESSING FEE | N 20 | | | 10/25/16 | 10/25/16 | 1003 2016169 | 0.00 0.00 | | 369.00 369.00 |
| TOTAL FINANCE DEPARTMENT CHECK AMT | | | | | | | | | | | 369.00 |
| TOTAL FINANCE DEPARTMENT NET PAYABLE | | | | | | | | | | | 369.00 |
| TOTAL GENERAL FUND CHECK AMT | | | | | | | | | | | 216196.22 |
| TOTAL GENERAL FUND NET PAYABLE | | | | | | | | | | | 216196.22 |

SUNGARD PENTAMATION
DATE: 11/09/2016
TIME: 11:11:00

VILLAGE OF WHEELING
MANUAL CHECK ACTIVITY

PAGE NUMBER: 2
DAILY51

SELECTION CRITERIA:
ACCOUNTING PERIOD: 10/16

FUND - 23 - 2009 GEN OBLIG BOND FUND

| ORGANIZATION | ACCOUNT CONTROL | VENDOR DESCRIPTION | 1099 T/C | PURCHASE INVOICE | ORDE | TRANSACT CHK DATE | PROJ/TAS ACCOUNT | CASH ACCT CHECK NO | SALES TAX USE TAX | TAX | DISC DATE DISC AMT | CHECK AMT NET PAYABLE |
|--|-----------------|----------------------|----------|------------------|------|-------------------|------------------|--------------------|-------------------|-----|--------------------|-----------------------|
| 23 | 5624 | BANK OF AMERICA, CHI | N | | | 10/03/16 | | 1003 | 0.00 | | | 25804.06 |
| | RBS1016 | OCT SWAP PAYMENT | 20 | | | 10/03/16 | | 2016158 | 0.00 | | 0.00 | 25804.06 |
| TOTAL 2009 GEN OBLIG BOND FUND CHECK AMT | | | | | | | | | | | | 25804.06 |
| TOTAL 2009 GEN OBLIG BOND FUND NET PAYABLE | | | | | | | | | | | | 25804.06 |
| TOTAL 2009 GEN OBLIG BOND FUND CHECK AMT | | | | | | | | | | | | 25804.06 |
| TOTAL 2009 GEN OBLIG BOND FUND NET PAYABLE | | | | | | | | | | | | 25804.06 |

SUNGARD PENTAMATION
DATE: 11/09/2016
TIME: 11:11:00

VILLAGE OF WHEELING
MANUAL CHECK ACTIVITY

PAGE NUMBER: 3
DAILY51

SELECTION CRITERIA:
ACCOUNTING PERIOD: 10/16

FUND - 39 - LAKE COOK/MILW TIF FUND

| ORGANIZATION | ACCOUNT CONTROL | VENDOR DESCRIPTION | 1099 T/C | PURCHASE INVOICE | ORDE | TRANSACT CHK | PROJ/TAS DATE ACCOUNT | CASH ACCT CHECK NO | SALES TAX USE TAX | DISC DATE DISC AMT | CHECK AMT NET PAYABLE |
|---|-----------------|--|----------|------------------|------|--------------|-----------------------|--------------------|-------------------|--------------------|-----------------------|
| 3900 | 5629 RBS1016 | FITCH RATINGS, INC 2016 BOND RATINGS FE | N 20 | | | 10/14/16 | 2016-033 | 1003 2016163 | 0.00 0.00 | 0.00 | 16000.00 16000.00 |
| 3900 | 5629 RBS1016 | CHAPMAN & CUTLER ISSUANCE COSTS | M 20 | | | 10/28/16 | 2016-033 | 1003 2016173 | 0.00 0.00 | 0.00 | 35000.00 35000.00 |
| TOTAL NORTH TIF DISTRICT CHECK AMT | | | | | | | | | | | 51000.00 |
| TOTAL NORTH TIF DISTRICT NET PAYABLE | | | | | | | | | | | 51000.00 |
| TOTAL LAKE COOK/MILW TIF FUND CHECK AMT | | | | | | | | | | | 51000.00 |
| TOTAL LAKE COOK/MILW TIF FUND NET PAYABLE | | | | | | | | | | | 51000.00 |

SUNGARD PENTAMATION
 DATE: 11/09/2016
 TIME: 11:11:00

VILLAGE OF WHEELING
 MANUAL CHECK ACTIVITY

PAGE NUMBER: 4
 DAILY51

SELECTION CRITERIA:
 ACCOUNTING PERIOD: 10/16

FUND - 40 - WATER AND SEWER FUND

| ORGANIZATION | ACCOUNT CONTROL | VENDOR DESCRIPTION | 1099 T/C | PURCHASE INVOICE | ORDE | TRANSACT CHK | PROJ/TAS DATE | CASH ACCT CHECK NO | SALES TAX USE TAX | DISC DATE DISC AMT | CHECK AMT NET PAYABLE |
|--|-----------------|-------------------------|----------|------------------|------|--------------|---------------|--------------------|-------------------|--------------------|-----------------------|
| 40 | 2207 | JAN DABROWSKI | N | | | 10/24/16 | | 1003 | 0.00 | | -69.03 |
| | UB160826 | UB REFUND | 20 | | | 09/09/16 | | 35755 V | 0.00 | 0.00 | -69.03 |
| TOTAL WATER AND SEWER FUND CHECK AMT | | | | | | | | | | | -69.03 |
| TOTAL WATER AND SEWER FUND NET PAYABLE | | | | | | | | | | | -69.03 |
| 4100 | 5705 | NORTHWEST WATER COMM N | | | | 10/20/16 | | 1003 | 0.00 | | 226376.00 |
| | RBS1016 | NOV, DEC 2016 PAYMEN 20 | | | | 10/20/16 | | 2016166 | 0.00 | 0.00 | 226376.00 |
| 4100 | 5227 | POSTMASTER PERMIT 3 N | | | | 10/27/16 | | 1003 | 0.00 | | 1245.25 |
| | RBS1016 | OCT WATER BILLS 20 | | | | 10/27/16 | | 2016170 | 0.00 | 0.00 | 1245.25 |
| TOTAL WATER DIVISION CHECK AMT | | | | | | | | | | | 227621.25 |
| TOTAL WATER DIVISION NET PAYABLE | | | | | | | | | | | 227621.25 |
| 4200 | 5227 | POSTMASTER PERMIT 3 N | | | | 10/27/16 | | 1003 | 0.00 | | 264.62 |
| | RBS1016 | OCT WATER BILLS 20 | | | | 10/27/16 | | 2016170 | 0.00 | 0.00 | 264.62 |
| TOTAL SEWER DIVISION CHECK AMT | | | | | | | | | | | 264.62 |
| TOTAL SEWER DIVISION NET PAYABLE | | | | | | | | | | | 264.62 |
| TOTAL WATER AND SEWER FUND CHECK AMT | | | | | | | | | | | 227816.84 |
| TOTAL WATER AND SEWER FUND NET PAYABLE | | | | | | | | | | | 227816.84 |

SUNGARD PENTAMATION
 DATE: 11/09/2016
 TIME: 11:11:00

VILLAGE OF WHEELING
 MANUAL CHECK ACTIVITY

PAGE NUMBER: 5
 DAILY51

SELECTION CRITERIA:
 ACCOUNTING PERIOD: 10/16

FUND - 50 - PAYROLL FUND

| ORGANIZATION | ACCOUNT CONTROL | VENDOR DESCRIPTION | 1099 T/C | PURCHASE INVOICE | ORDE | TRANSACT CHK DATE | PROJ/TAS ACCOUNT | CASH ACCT CHECK NO | SALES TAX USE TAX | DISC DATE DISC AMT | CHECK AMT NET PAYABLE |
|--------------------------------|-----------------|---|----------|------------------|------|----------------------|------------------|--------------------|-------------------|--------------------|------------------------|
| 50 | 2104 RBS1016 | ILLINOIS MUNICIPAL R IMRF - OCTOBER 16 | N 20 | | | 10/28/16 10/28/16 | | 1003 2016171 | 0.00 0.00 | 0.00 | 123742.28 123742.28 |
| 50 | 2102 RBS1016 | INTERNAL REVENUE SER FED PR 100716 | N 20 | | | 10/06/16 10/06/16 | | 1003 2016161 | 0.00 0.00 | 0.00 | 116016.54 116016.54 |
| 50 | 2105 RBS1016 | INTERNAL REVENUE SER FED PR 100716 | N 20 | | | 10/06/16 10/06/16 | | 1003 2016161 | 0.00 0.00 | 0.00 | 71061.34 71061.34 |
| 50 | 2105 RBS1016 | INTERNAL REVENUE SER FED PR TAXES 102116 | N 20 | | | 10/20/16 10/20/16 | | 1003 2016164 | 0.00 0.00 | 0.00 | 68396.16 68396.16 |
| 50 | 2102 RBS1016 | INTERNAL REVENUE SER FED PR TAXES 102116 | N 20 | | | 10/20/16 10/20/16 | | 1003 2016164 | 0.00 0.00 | 0.00 | 110933.74 110933.74 |
| TOTAL VENDOR CHECK AMT | | | | | | | | | | | 366407.78 |
| TOTAL VENDOR NET PAYABLE | | | | | | | | | | | 366407.78 |
| 50 | 2103 RBS1016 | ILLINOIS DEPARTMENT IL PR TAXES 100716 | N 20 | | | 10/07/16 10/07/16 | | 1003 2016162 | 0.00 0.00 | 0.00 | 27644.41 27644.41 |
| 50 | 2103 RBS1016 | ILLINOIS DEPARTMENT IL PR TAXES 102116 | N 20 | | | 10/21/16 10/21/16 | | 1003 2016167 | 0.00 0.00 | 0.00 | 26667.53 26667.53 |
| TOTAL VENDOR CHECK AMT | | | | | | | | | | | 54311.94 |
| TOTAL VENDOR NET PAYABLE | | | | | | | | | | | 54311.94 |
| 50 | 2117 RBS1016 | IPBC OCT INS PREMIUMS | N 20 | | | 10/03/16 10/03/16 | | 1003 2016159 | 0.00 0.00 | 0.00 | 140525.76 140525.76 |
| 50 | 2118 RBS1016 | IPBC OCT INS PREMIUMS | N 20 | | | 10/03/16 10/03/16 | | 1003 2016159 | 0.00 0.00 | 0.00 | 183867.56 183867.56 |
| TOTAL VENDOR CHECK AMT | | | | | | | | | | | 324393.32 |
| TOTAL VENDOR NET PAYABLE | | | | | | | | | | | 324393.32 |
| 50 | 2109 RBS1016 | WISCONSIN DEPARTMENT WI PR TAXES - OCT | N 20 | | | 10/28/16 10/28/16 | | 1003 2016172 | 0.00 0.00 | 0.00 | 613.73 613.73 |
| TOTAL PAYROLL FUND CHECK AMT | | | | | | | | | | | 869469.05 |
| TOTAL PAYROLL FUND NET PAYABLE | | | | | | | | | | | 869469.05 |
| TOTAL PAYROLL FUND CHECK AMT | | | | | | | | | | | 869469.05 |
| TOTAL PAYROLL FUND NET PAYABLE | | | | | | | | | | | 869469.05 |

SUNGARD PENTAMATION
 DATE: 11/09/2016
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VILLAGE OF WHEELING
 MANUAL CHECK ACTIVITY

PAGE NUMBER: 6
 DAILY51

SELECTION CRITERIA:
 ACCOUNTING PERIOD: 10/16

FUND - 51 - LIABILITY INSURANCE FUND

| ORGANIZATION | ACCOUNT CONTROL | VENDOR DESCRIPTION | 1099 T/C | PURCHASE INVOICE | ORDE | TRANSACT CHK DATE | PROJ/TAS ACCOUNT | CASH ACCT CHECK NO | SALES TAX USE TAX | TAX | DISC DATE DISC AMT | CHECK AMT NET PAYABLE |
|--|-----------------|---------------------------|----------|------------------|------|----------------------|------------------|--------------------|-------------------|-----|--------------------|-----------------------|
| 51 | 1008 RBS1016 | CCMSI ESCROW FUNDING SEP | N 20 | | | 10/05/16 10/05/16 | | 1003 2016160 | 0.00 0.00 | | | 13992.29 13992.29 |
| 51 | 1008 RBS1016 | CCMSI ADVANCED FUND - OCT | N 20 | | | 10/20/16 10/20/16 | | 1003 2016165 | 0.00 0.00 | | | 30639.65 30639.65 |
| TOTAL VENDOR CHECK AMT | | | | | | | | | | | | 44631.94 |
| TOTAL VENDOR NET PAYABLE | | | | | | | | | | | | 44631.94 |
| TOTAL LIABILITY INSURANCE FUND CHECK AMT | | | | | | | | | | | | 44631.94 |
| TOTAL LIABILITY INSURANCE FUND NET PAYABLE | | | | | | | | | | | | 44631.94 |
| TOTAL LIABILITY INSURANCE FUND CHECK AMT | | | | | | | | | | | | 44631.94 |
| TOTAL LIABILITY INSURANCE FUND NET PAYABLE | | | | | | | | | | | | 44631.94 |
| TOTAL REPORT CHECK AMT | | | | | | | | | | | | 1434918.11 |
| TOTAL REPORT NET PAYABLE | | | | | | | | | | | | 1434918.11 |

Village of Wheeling Payroll Summary

Pay Period Ended 11/04/2016

| Fund Number | Fund | Salaries | Benefits | Total Payroll |
|-------------|----------------------------|-------------------|------------------|-------------------|
| 01 | General Fund | 764,095.94 | 67,000.35 | 831,096.29 |
| 31 | Crossroads TIF | 665.32 | 130.08 | 795.40 |
| 32 | So Milwaukee TIF | 665.32 | 130.08 | 795.40 |
| 34 | Capital Projects | 5,867.37 | 1,146.38 | 7,013.75 |
| 35 | Town Center II TIF | 665.32 | 130.08 | 795.40 |
| 36 | Southeast II TIF | 665.32 | 130.08 | 795.40 |
| 39 | Lake Cook/Milwaukee TIF | 665.30 | 130.12 | 795.42 |
| 40 | Water & Sewer Fund | 54,300.48 | 10,638.23 | 64,938.71 |
| 55 | Grant Fund | 4,226.58 | 828.42 | 5,055.00 |
| | | | | |
| | Total Gross Payroll | 831,816.95 | 80,263.82 | 912,080.77 |
| | | | | |
| | Total Payroll Deductions | 285,608.55 | 80,263.82 | 365,872.37 |
| | | | | |
| | Total Net Payroll | 546,208.40 | 0.00 | 546,208.40 |
| | | | | |
| | | | | |
| | Payroll Checks | 0.00 | | |
| | | | | |
| | Direct Deposits | 546,208.40 | | |
| | | | | |
| | Total Net Payroll | 546,208.40 | | |

SUNGARD PENTAMATION

DATE: 11/16/2016

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VILLAGE OF WHEELING

CASH REQUIREMENTS - CHECK FORMAT - DUE DATE: 11/22/2016

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ACCTPA51

ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR | INVOICE | AMOUNT | DESCRIPTION |
|------------------------------|--------------|---------|-------------|-----------|-----------|---------------------------|
| 9236 | 1300 | 5317 | 16002782 | 21959 | 28.83 | COFFEE FOR VILLAGE HALL |
| ABSOLUTE VENDING SERVICE | 1600 | 5317 | 16002782 | 21959 | 28.83 | COFFEE FOR VILLAGE HALL |
| | 1700 | 5317 | 16002782 | 21959 | 28.84 | COFFEE FOR VILLAGE HALL |
| TOTAL CHECK | | | | | 86.50 | |
| 9355 | 2100 | 5317 | 16002746 | 383418 | 80.82 | OFFICE SUPPLIES |
| ACCURATE OFFICE SUPPLY | | | | | | |
| TOTAL CHECK | | | | | 80.82 | |
| 8727 | 1300 | 5210 | 16002706 | 1030496 | 430.00 | OCTOBER PEST CONTROL |
| AEREX PEST CONTROL | | | | | | |
| TOTAL CHECK | | | | | 430.00 | |
| 136 | 1320 | 5231 | 16002751 | 99306 | 2.00 | SENIOR TAXI SERVICE |
| AMERICAN CHARGE SERVICE | | | | | | |
| TOTAL CHECK | | | | | 2.00 | |
| 8035 | 2200 | 5220 | 16002708 | 04366514 | 141.04 | OXYGEN |
| AMERICAN WELDING & GAS INC | 2200 | 5220 | 16002718 | 04398193 | 318.36 | CYLINDER RENTALS |
| TOTAL CHECK | | | | | 459.40 | |
| 6427 | 2100 | 5317 | 16002787 | W03608 | 411.74 | DOOR ACCESS SYSTEM |
| APPLIED COMMUNICATIONS GROUP | | | | | | |
| TOTAL CHECK | | | | | 411.74 | |
| 9349 | 4100 | 5299 | 16002764 | 1676 | 1,192.50 | BACKFLOW SURVEY |
| BACKFLOW SOLUTIONS INC | | | | | | |
| TOTAL CHECK | | | | | 1,192.50 | |
| 5553 | 5500 | 5299 | 16002753 | | 90.00 | ENTERTAINMENT 12-15 |
| HEATHER BRAOUDAKIS | | | | | | |
| TOTAL CHECK | | | | | 90.00 | |
| 385 | 1220 | 5310 | 16002393 | WI31898 | 2,885.00 | BROOM & SALT SPREADER FOR |
| BURRIS EQUIPMENT COMPANY | 1420 | 5310 | 16002393 | WI31898 | 5,950.00 | BROOM & SALT SPREADER FOR |
| TOTAL CHECK | | | | | 8,835.00 | |
| 3383 | 01 | 1501 | 16002809 | INV23621 | 4,646.00 | 2017 CONTINUATION FEE |
| CALEA | | | | | | |
| TOTAL CHECK | | | | | 4,646.00 | |
| 443 | 33 | 5313 | 16002603 | FVP3351 | 33,998.50 | CISCO NETWORK EQUIPMENT |
| CDW-GOVERNMENT | 33 | 5313 | 16002603 | FVP8536 | 12,390.00 | CISCO NETWORK EQUIPMENT |
| | 33 | 5313 | 16002603 | FWD7674 | 1,112.40 | CISCO NETWORK EQUIPMENT |
| | 33 | 5313 | 16002603 | FWL5074 | 25,229.25 | CISCO NETWORK EQUIPMENT |
| | 33 | 5313 | 16002603 | FWM6146 | 646.16 | CISCO NETWORK EQUIPMENT |
| | 33 | 5313 | 16002603 | FWS4113 | 512.96 | CISCO NETWORK EQUIPMENT |
| TOTAL CHECK | | | | | 73,889.27 | |
| 517 | 1220 | 5215 | 16002762 | 769030177 | 1,796.80 | CARPET CLEANING -VH |
| CINTAS #769 | 1220 | 5215 | 16002763 | 769030178 | 2,607.40 | CARPET CLEANING- VH |
| TOTAL CHECK | | | | | 4,404.20 | |

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VILLAGE OF WHEELING

CASH REQUIREMENTS - CHECK FORMAT - DUE DATE: 11/22/2016

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ACCTPA51

ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR | INVOICE | AMOUNT | DESCRIPTION |
|------------------------------|--------------|---------|-------------|-------------|----------|------------------------|
| 8850 | 4100 | 5208 | 16002724 | 11669 | 85.00 | DEBRIS DISPOSAL |
| CJ MATERIALS & RECYCLING LLC | | | | | | |
| TOTAL CHECK | | | | | 85.00 | |
| 556 | 1420 | 5209 | 16002717 | | 19.77 | ENERGY SERVICE OCTOBER |
| COMED | 4100 | 5209 | 16002717 | | 78.27 | ENERGY SERVICE OCTOBER |
| | 4200 | 5209 | 16002717 | | 580.57 | ENERGY SERVICE OCTOBER |
| TOTAL CHECK | | | | | 678.61 | |
| 557 | 11 | 5209 | 16002715 | | 4,115.63 | ENERGY SERVICE-OCT. |
| COMED | | | | | | |
| TOTAL CHECK | | | | | 4,115.63 | |
| 8639 | 1170 | 5209 | 16002716 | | 915.17 | ENERGY SERVICE OCTOBER |
| CONSTELLATION NEW ENERGY INC | 1320 | 5209 | 16002716 | | 295.31 | ENERGY SERVICE OCTOBER |
| | 1430 | 5209 | 16002716 | | 1,750.86 | ENERGY SERVICE OCTOBER |
| | 4100 | 5209 | 16002716 | | 4,881.66 | ENERGY SERVICE OCTOBER |
| | 4200 | 5209 | 16002716 | | 749.47 | ENERGY SERVICE OCTOBER |
| TOTAL CHECK | | | | | 8,592.47 | |
| 610 | 2100 | 5207 | 16002813 | | 3,729.00 | WAN DATA LINE 2016 |
| COUNTY OF COOK, ILLINOIS | | | | | | |
| TOTAL CHECK | | | | | 3,729.00 | |
| 708 | 01 | 2206 | 16002685 | 16-18462 | 275.00 | ASSET FORFEITURE |
| DIRECTOR, ILLINOIS STATE POL | | | | | | |
| TOTAL CHECK | | | | | 275.00 | |
| 5540 | 2200 | 5220 | 16002721 | 49421 | 2,830.66 | DIVE GEAR MAINTENANCE |
| DJ'S SCUBA LOCKER | 2200 | 5220 | 16002721 | 49593 | 98.02 | DIVE GEAR MAINTENANCE |
| | 2200 | 5305 | 16002127 | 5285 | 287.94 | DIVE EQUIPMENT |
| | 2200 | 5305 | 16002126 | 5335 | 1,696.20 | DIVE EQUIPMENT |
| TOTAL CHECK | | | | | 4,912.82 | |
| 744 | 2100 | 5310 | 16002769 | 48881 | 522.00 | OCT. CAR WASHES |
| DUNDEE AND WOLF AUTOMOTIVE | 1300 | 5310 | 16002770 | 48882 | 21.75 | OCT. CAR WASHES |
| | 1400 | 5310 | 16002770 | 48882 | 7.25 | OCT. CAR WASHES |
| | 1600 | 5310 | 16002770 | 48882 | 7.25 | OCT. CAR WASHES |
| TOTAL CHECK | | | | | 558.25 | |
| 5211 | 2200 | 5319 | 16002741 | 2016-2918 | 87.20 | MABAS ID TAGS |
| EAGLE ENGRAVING | | | | | | |
| TOTAL CHECK | | | | | 87.20 | |
| 6477 | 2200 | 5305 | 16001046 | 19153 | 742.50 | VEHICLE ID DECALS |
| FIREHOUSE DECALS | | | | | | |
| TOTAL CHECK | | | | | 742.50 | |
| 5704 | 1240 | 5301 | 16002805 | NP48889692 | 23.88 | OUT OF TOWN FUEL |
| FUELMAN | 2100 | 5301 | 16002805 | NP48889692 | 354.00 | OUT OF TOWN FUEL |
| TOTAL CHECK | | | | | 377.88 | |
| 3628 | 2100 | 5318 | 16002786 | PINV1239369 | 56.77 | OFFICE SUPPLIES |
| GARVEY'S OFFICE PRODUCTS | | | | | | |
| TOTAL CHECK | | | | | 56.77 | |

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VILLAGE OF WHEELING

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ACCTPA51

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PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR | INVOICE | AMOUNT | DESCRIPTION |
|--|--|--|--|---|---|---|
| 10008 GAS DEPOT INC TOTAL CHECK | 01 | 1551 | 16002735 | 35400/35401- | 12,321.87 12,321.87 | FUEL FOR FLEET |
| 1010 H & H ELECTRIC CO TOTAL CHECK | 51 51 1420 1420 1420 1420 51 | 5272 5272 5251 5251 5251 5251 5272 | 16002772 16002775 16002737 16002773 16002736 16002774 16002775 | 26801R1 26802R1 26876R1 26994 26995 26996 26997 | 739.20 683.00 1,365.05 40.50 450.00 643.50 187.50 4,108.75 | STREETLIGHT KNOCKDOWN STREETLIGHT KNOCKDOWN STREETLIGHT REPAIR STREETLIGHT MAINTENANCE STREETLIGHT REPAIR STREETLIGHT MAINTENANCE STREETLIGHT KNOCKDOWN |
| 1018 HALL SIGNS INC TOTAL CHECK | 11 | 5320 | 16002714 | 311720 | 83.94 83.94 | REFLECTORS |
| 5284 HD SUPPLY WATERWORKS LTD TOTAL CHECK | 4100 | 5341 | 16002725 | G318225 | 7,714.00 7,714.00 | METERS |
| 10153 HOLIDAY CREATIONS PRO INC TOTAL CHECK | 1140 1140 | 5317 5299 | 16002712 16002582 | 69814 7881 | 1,451.00 71,857.20 73,308.20 | HOLIDAY LIGHTS INSTALL HOLIDAY LIGHTS |
| 1094 HR SIMPLIFIED TOTAL CHECK | 1800 | 5206 | 16002794 | 49151 | 100.00 100.00 | OCT COBRA NOTICES |
| 10170 INDUSTRIAL ORGANIZATIONAL SO TOTAL CHECK | 1800 | 5226 | 16002788 | C38129A | 13,290.00 13,290.00 | SERGEANT TESTING |
| 4285 J.G. UNIFORMS INC TOTAL CHECK | 33 33 | 5315 5315 | 16002757 16002756 | 9759 9760 | 785.00 785.00 1,570.00 | ARMOR VEST ARMOR VEST |
| 7793 STEVE JUSTMAN TOTAL CHECK | 5500 | 5299 | 16002755 | | 150.00 150.00 | ENTERTAINMENT 12-19 |
| 9632 KALKOMEY ENTERPRISES INC TOTAL CHECK | 2200 | 5105 | 16002800 | 156069 | 147.50 147.50 | BOATER CERTIFICATIONS |
| 7811 JIM KENDROS TOTAL CHECK | 5500 | 5299 | 16002754 | WPAV12232016 | 90.00 90.00 | ENTERTAINMENT 12-23 |
| 6502 KIESLER'S POLICE SUPPLY INC TOTAL CHECK | 2100 | 5106 | 16002705 | 0807820 | 486.00 486.00 | RAPID ASSAULT SHIRTS |

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ACCTPA51

ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR | INVOICE | AMOUNT | DESCRIPTION |
|---|--------------|---------|-------------|---------|----------------------|--------------------------|
| 4023 KNOX SWAN & DOG LLC TOTAL CHECK | 1220 | 5299 | 16002758 | | 3,733.00 3,733.00 | GOOSE CONTROL |
| 4463 LAKE/COOK C.V. JOINTS INC TOTAL CHECK | 2200 | 5310 | 16002711 | 72040 | 95.00 95.00 | REPLACEMENT PART |
| 7369 LEADS ONLINE TOTAL CHECK | 01 | 1501 | 16002704 | 238767 | 3,468.00 3,468.00 | LEADS ONLINE ACCESS |
| 10178 EARLENE LEEPER TOTAL CHECK | 01 | 4790 | 16002801 | | 196.00 196.00 | KNOX BOX REFUND |
| 5989 MGP INC | 1600 | 5207 | 16002761 | 3330 | 137.50 | CSR STAFFING-OCT. |
| | 4100 | 5207 | 16002761 | 3330 | 68.75 | CSR STAFFING-OCT. |
| | 4200 | 5207 | 16002761 | 3330 | 68.75 | CSR STAFFING-OCT. |
| | 1600 | 5207 | 16000344 | 3331 | 5,529.34 | OCT. GIS STAFFING |
| | 4100 | 5207 | 16000344 | 3331 | 2,764.67 | OCT. GIS STAFFING |
| | 4200 | 5207 | 16000344 | 3331 | 2,764.67 | OCT. GIS STAFFING |
| TOTAL CHECK | | | | | 11,333.68 | |
| 1762 MIDWEST TIME RECORDER TOTAL CHECK | 15 | 1501 | 16002789 | 151363 | 120.00 120.00 | TIME CLOCK MAINTENANCE |
| 8444 MILIEU DESIGN LLC | 1320 | 5217 | 16002655 | | 47.71 | WEEKLY MOWING |
| | 1430 | 5217 | 16002655 | | 2,910.75 | WEEKLY MOWING |
| | 1430 | 5311 | 16002655 | | 35.50 | WEEKLY MOWING |
| | 4100 | 5217 | 16002655 | | 267.97 | WEEKLY MOWING |
| | 4200 | 5217 | 16002655 | | 177.63 | WEEKLY MOWING |
| | 1320 | 5217 | 16002666 | | 47.71 | WEEKLY MOWING |
| | 1430 | 5217 | 16002666 | | 2,933.33 | WEEKLY MOWING |
| | 1430 | 5311 | 16002666 | | 35.50 | WEEKLY MOWING |
| | 4100 | 5217 | 16002666 | | 267.97 | WEEKLY MOWING |
| | 4200 | 5217 | 16002666 | | 530.87 | WEEKLY MOWING |
| | 1320 | 5217 | 16002699 | | 47.71 | WEEKLY MOWING |
| | 1430 | 5217 | 16002699 | | 2,137.63 | WEEKLY MOWING |
| | 1430 | 5311 | 16002699 | | 33.50 | WEEKLY MOWING |
| | 4100 | 5217 | 16002699 | | 267.97 | WEEKLY MOWING |
| | 4200 | 5217 | 16002699 | | 183.73 | WEEKLY MOWING |
| | 1430 | 5217 | 16002654 | 120326 | 1,136.45 | LANDSCAPE MAINTENANCE |
| | 1430 | 5217 | 16002664 | 120378 | 1,136.45 | LANDSCAPE MAINTENANCE |
| | 1430 | 5217 | 16002679 | 120400 | 100.00 | LANDSCAPE VIOLATION |
| | 1430 | 5217 | 16002698 | 120437 | 1,136.45 | LANDSCAPE MAINTENANCE |
| TOTAL CHECK | | | | | 13,434.83 | |
| 1779 MITCH'S GREENTHUMB LANDSCAPI TOTAL CHECK | 4200 | 5217 | 16002729 | 20013 | 750.00 750.00 | MEADOW LANE BASIN MOWING |

SUNGARD PENTAMATION

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VILLAGE OF WHEELING

CASH REQUIREMENTS - CHECK FORMAT - DUE DATE: 11/22/2016

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ACCTPA51

ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR | INVOICE | AMOUNT | DESCRIPTION |
|---|------------------------------|------------------------------|--|--|---|--|
| 6625 MUNICIPAL CODE CORP TOTAL CHECK | 1600 | 5204 | 16002723 | 00277789 | 167.52 167.52 | MUNICIPAL CODE UPDATES |
| 1039 NAPA HEIGHTS AUTOMOTIVE TOTAL CHECK | 1240 | 5317 | 16002744 | 941597 | 53.27 53.27 | FLASHER |
| 1915 NORTH EAST MULTI REGIONAL TR TOTAL CHECK | 2100 | 5105 | 16002806 | 213015 | 255.00 255.00 | TRAINING |
| 3294 NORTHEASTERN IL PUBLIC SAFET TOTAL CHECK | 2200 | 5105 | 16002798 | 15684 | 350.00 350.00 | LEADERSHIP I COURSE |
| 1934 NORTHERN ILLINOIS POLICE ALA TOTAL CHECK | 2100 | 5317 | 16002731 | 11117 | 64.40 64.40 | LANGUAGE LINE-SEPT. |
| 6361 NORTHSHORE UNIVERSITY TOTAL CHECK | 1800 1800 | 5246 5246 | 16002777 16002778 | | 58.00 134.00 192.00 | MEDICAL EXAM MEDICAL EXAM |
| 3092 OFFICE DEPOT TOTAL CHECK | 2100 2200 1600 2100 | 5318 5318 5318 5318 | 16002734 16002740 16002722 16002814 | 870461264001 870546970001 876737482001 | 92.91 406.28 67.91 29.99 597.09 | OFFICE SUPPLIES OFFICE SUPPLIES OFFICE SUPPLIES OFFICE SUPPLIES |
| 2003 ORANGE CRUSH, L.L.C. TOTAL CHECK | 1420 | 5314 | 16002727 | 20040 | 296.16 296.16 | ASPHALT |
| 8988 OZINGA READY MIX CONCRETE IN TOTAL CHECK | 1420 | 5314 | 16002728 | 811689 | 734.00 734.00 | CONCRETE |
| 2017 PADDOCK PUBLICATIONS TOTAL CHECK | 2100 | 5302 | 16002675 | | 38.00 38.00 | SUBSCRIPTION |
| 6778 PARAMEDIC BILLING SERVICES I TOTAL CHECK | 01 | 4409 | 16002776 | | 1,595.72 1,595.72 | BALANCE SERVICE FEES |
| 9796 PARTNERS AND PAWS VETERINARY TOTAL CHECK | 2100 | 5317 | 16002700 | 40618 | 38.40 38.40 | CANINE SHAMPOO |
| 2185 RED CENTER TOTAL CHECK | 2200 | 5313 | 16002803 | EQUIP 10-16 | 750.00 750.00 | WIRELESS MODEM |

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VILLAGE OF WHEELING

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ACCTPA51

ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR | INVOICE | AMOUNT | DESCRIPTION |
|---|----------------------|----------------------|----------------------------------|--|--------------------------------------|---|
| 2189 REGIONAL TRUCK EQUIPMENT TOTAL CHECK | 33 | 5401 | 16002719 | 46701 | 4,396.00 4,396.00 | SNOW PLOW |
| 3712 RICOH USA INC TOTAL CHECK | 1300 2200 | 5220 5220 | 16002781 16002799 | 5045346455 5045346951 | 161.40 88.47 249.87 | OCT. CD PHOTO COPIES OCT. FD PHOTO COPIES |
| 9724 BOBBY SCHIFF TOTAL CHECK | 5500 | 5299 | 16002752 | | 150.00 150.00 | ENTERTAINMENT 12-29 |
| 9064 SHERIFF'S WORK ALTERNATIVE P TOTAL CHECK | 1420 | 5299 | 16002726 | 2016-014 | 5,000.00 5,000.00 | SWAP SERVICES FOR 2016 |
| 2436 STANDARD EQUIPMENT COMPANY TOTAL CHECK | 4200 | 5315 | 16002694 | C17463 | 307.15 307.15 | CLAW - SEWER TRUCK |
| 5415 STAPLES TOTAL CHECK | 2100 2100 2100 | 5318 5318 5318 | 16002759 16002732 16002811 | 8039411599 8041553301 8041769212 | 167.11 192.51 125.20 484.82 | OFFICE SUPPLIES OFFICE SUPPLIES OFFICE SUPPLIES |
| 3510 STATE TREASURER TOTAL CHECK | 11 | 5251 | 16002780 | 50966 | 877.50 877.50 | STREET LIGHT MAINT 3RD |
| 2456 STERICYCLE INC TOTAL CHECK | 01 | 1501 | 16002810 | 4006701856 | 675.81 675.81 | WASTE REMOVAL 1ST QTR |
| 2509 T O P S IN DOG TRAINING CORP TOTAL CHECK | 2100 | 5317 | 16002808 | 18596 | 136.00 136.00 | CANINE LEASH & FOOD |
| 2590 THOMPSON ELEVATOR INSPECTION TOTAL CHECK | 1300 | 5206 | 16002693 | 16-3522 | 300.00 300.00 | ELEVATOR PLAN REVIEW FOR |
| 3815 THOMSON REUTERS-WEST TOTAL CHECK | 2100 | 5231 | 16002750 | 835015670 | 200.00 200.00 | BACKGROUND CHECKS |
| 10101 TKK ELECTRONICS LLC TOTAL CHECK | 2200 | 5313 | 16002292 | 13694 | 2,384.00 2,384.00 | REPLACE MDC ENGINE R23 |
| 8760 TODAY'S UNIFORMS TOTAL CHECK | 2200 | 5106 | 16002742 | | 744.53 744.53 | UNIFORM ALLOWANCE |

SUNGARD PENTAMATION

DATE: 11/16/2016

TIME: 10:32:58

SELECTION CRITERIA: payable.batch='AMM11/22'

VILLAGE OF WHEELING

CASH REQUIREMENTS - CHECK FORMAT - DUE DATE: 11/22/2016

PAGE NUMBER: 7

ACCTPA51

ACCOUNTING PERIOD: 11/16

PAYMENT TYPE: CHECKS ONLY

| VENDOR | ORGANIZATION | ACCOUNT | PURCHASE OR | INVOICE | AMOUNT | DESCRIPTION |
|---|--------------|---------|-------------|------------|------------|-------------------------|
| 2631 | 2100 | 5231 | 16002691 | 10600561 | 60.00 | CREDIT REPORT SERVICE |
| TRANS UNION LLC | | | | | | |
| TOTAL CHECK | | | | | 60.00 | |
| 2700 | 1600 | 5239 | 16002812 | 9774790973 | 1,026.27 | WIRELESS BROAD BAND |
| VERIZON WIRELESS | | | | | | |
| TOTAL CHECK | | | | | 1,026.27 | |
| 2707 | 4100 | 5208 | 16002696 | 1906 | 2,100.00 | DEBRIS REMOVAL |
| VICTORIA INDUSTRIES, INC | 4200 | 5208 | 16002696 | 1906 | 2,100.00 | DEBRIS REMOVAL |
| | 4100 | 5344 | 16002695 | 1907 | 4,282.64 | STONE FOR BACKFILL |
| TOTAL CHECK | | | | | 8,482.64 | |
| 10175 | 01 | 4512 | 16002743 | | 10.00 | TICKET OVERPAYMENT |
| VOLODIMYR VOLOSIVIC | | | | | | |
| TOTAL CHECK | | | | | 10.00 | |
| 4537 | 4100 | 5315 | 16002730 | 0270015 | 1,600.00 | MAGNETIC LOCATOR |
| WATER PRODUCTS CO OF AURORA | | | | | | |
| TOTAL CHECK | | | | | 1,600.00 | |
| 2783 | 01 | 1501 | 16002765 | 0006399-IN | 575.00 | 2017 MEMBERSHIP DUES |
| WEST CENTRAL MUNICIPAL CONFERENCE | | | | | | |
| TOTAL CHECK | | | | | 575.00 | |
| 4339 | 2100 | 5202 | 16002784 | | 430.00 | ANIMAL IMPOUNDS |
| WHEELING ANIMAL HOSPITAL | 2100 | 5202 | 16002785 | | 285.00 | ANIMAL IMPOUNDS |
| TOTAL CHECK | | | | | 715.00 | |
| 5934 | 51 | 5272 | 16002749 | 2896 | 556.55 | ACCIDENT DAMAGE REPAIRS |
| WHEEL-INN BODY & MOTOR WORKS | | | | | | |
| TOTAL CHECK | | | | | 556.55 | |
| 6513 | 2200 | 5310 | 16002720 | 882 | 30.00 | SAFETY TEST AMB. 621 |
| WILMETTE TRUCK & BUS SERVICE | | | | | | |
| TOTAL CHECK | | | | | 30.00 | |
| 2851 | 4100 | 5315 | 16002760 | 235446-000 | 1,790.24 | PIPE CUTTING TOOL |
| ZIEBELL | | | | | | |
| TOTAL CHECK | | | | | 1,790.24 | |
| TOTAL CASHABLE CHECKS | | | | | 301,122.27 | |
| TOTAL EFT VOUCHERS | | | | | .00 | |
| TOTAL REPORT | | | | | 301,122.27 | |
| TOTAL NUMBER OF CHECKS TO BE ISSUED - 80 | | | | | | |
| TOTAL NUMBER OF EFT VOUCHERS TO BE ISSUED - 0 | | | | | | |